

WINDSOR NEIGHBOURHOOD PLAN

2016-2031

Pre Submission Consultation

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Neighbourhood Plan Area

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APPENDIX 7

OPEN SPACE LISTING

Pre-Submission Consultation 1

This Appendix identifies all of the open spaces within the urban WNP area, some of which we wish to designate as Local Green Space, in accordance with the NPPF, and WNP policy OS.02.

Maps and descriptions are included for the LGS items.

APPENDIX 7 WNP INDEX OF OPEN SPACES (ITEMS 1-43 to be Designated as Local Green Space)

REF	LOCATION	PARKS & GARDENS	NATURAL & SEMI NAT GREEN SPACES	GREEN LINKS/CHAINS	AMENITY GREEN SPACE	PROVISION FOR CHILDREN	PROVISION FOR YOUNG PEOPLE	SCHOOLS	ALLOTMENTS	CEMETERIES AND CHURCH YARDS
	TYOLOGIES	1	2	3	4	5	6	7	8	9
1	Allotment: Overview								Y	
2	Basford Way (corner plots x 2)		Y							
3	Bruce Walk				Y	Y				
4	Bulkeley Avenue play area				Y	Y				
5	Castle Farm Spinney		Y							
6	Chaucer Close open space				Y		Y			
7	Clarence Crescent gardens				Y					
8	Clewer Memorial Recreation ground				Y	Y	Y			
9	NOT USED									
10	Convent Court Open Space				Y					
11	Convent of St John the Baptist hallowed ground									Y
12	Dedworth Drive (corner Stuart Way)				Y					
13	Dedworth Manor and Sawyers Close Open Space				Y	Y	Y			
14	NOT USED									
15	Filmer Road				Y	Y				
16	Footpath: Alma Road to Vansittart Road			Y						
17	Footpath: Hatch Lane to Longbourn			Y						
18	Greenacre				Y					
19	Hemwood Dell		Y							
20	Imperial Park	Y				Y	Y			

Continued

APPENDIX 7
WNP INDEX OF OPEN SPACES

REF	LOCATION	PARKS & GARDENS	NATURAL & SEMI NAT GREEN SPACES	GREEN LINKS/CHAINS	AMENITY GREEN SPACE	PROVISION FOR CHILDREN	PROVISION FOR YOUNG PEOPLE	SCHOOLS	ALLOTMENTS	CEMETERIES AND CHURCHYARDS
		1	2	3	4	5	6	7	8	9
	TYOLOGIES	1	2	3	4	5	6	7	8	9
21	Keepers Farm Close (locations x 2: N & S)		Y							
22	Knights Close Play Area				Y	Y				
23	Longbourn Open Space, Imperial Road				Y					
24	Maidenhead Road green space (1), Ruddlesway to Gallys Rd				Y					
25	Maidenhead Road green space (2), Gallys Rd to Smiths Lane				Y					
26	Nightingale Walk				Y	Y				
27	Osgood Park (Wolf Lane)	Y								
28	Park Corner				Y	Y				
29	Peel Close (small greens areas)				Y					
30	Princess Avenue (green spaces x 4)				Y					
31	School: Overview							Y		
32	St Georges Close, off Smiths Lane				Y					
33	Stuart Way (green spaces x 2: W & E)				Y					
34	NOT USED									
35	Trevelyan open space (next to Clarence Road)				Y					
36	Trinity Wildlife Garden		Y							
37	Vansittart Recreation ground				Y	Y	Y			
38	Westmead (green space on West side)									
39	Windsor FC, Stag Meadow				Y					
40	Wolf Lane Amenity Green Space				Y					
41	Wolf Lane Play Area					Y				
42	Wolf Lane Spinney				Y					
43	Wood Close Play Area						Y			

APPENDIX 7

WNP INDEX OF OPEN SPACES

THE FOLLOWING LOCATIONS ARE CONSIDERED AS OTHERWISE PROTECTED BY 0S.01.
(THESE LOCATIONS ARE NOT SUPPORTED BY MAPS IN THIS DOCUMENT).

REF	LOCATION	PARKS & GARDENS	NATURAL & SEMI NAT GREEN SPACES	GREEN LINKS/CHAINS	AMENITY GREEN SPACE	PROVISION FOR CHILDREN	PROVISION FOR YOUNG PEOPLE	SCHOOLS	ALLOTMENTS	CEMETERIES AND CHURCH YARDS
		1	2	3	4	5	6	7	8	9
	TYOLOGIES	1	2	3	4	5	6	7	8	9
44	Chantry Close, LH corner plot									
45	Clewer Park									
46	Clewer St Andrews Church Cemetery									
47	Dawson Close									
48	Gardners Cottages, Duke Street									
49	Goslar Way, North side hedgerow									
50	Hannover Way Community Centre									
51	Imperial Road, West side hedgerow									
52	Loring Road									
53	Losfield Road									
54	Nightingale Walk corner plots									
55	Perrycroft and The Ridings									
56	Prince Consort Cottages									
57	Redwoods, The (green space to RHS of entry)									
58	Reed Way x 2, N & S									
59	River Thames Corridor									
60	Stephensons Drive									
61	Sutherland Grange (Nature Reserve)									
62	Windsor Cemetery									
63	Windsor Tennis Club									
64	Wood Close (green spaces x 5)									

END

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: Allotments Overview

Ref: 01

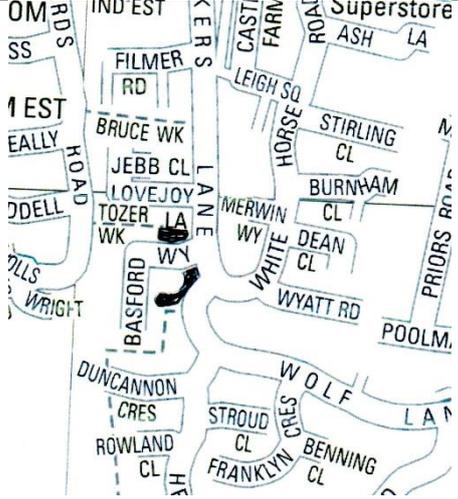
<p><u>Location:</u> Various – see attached map</p>	<p>The following 9 allotments are administered by the Windsor Allotments and Home Gardens Association (WAHGA). Bolton Road Brook Street (owned by the Crown Estate) Clewer Park Fairground Green Lane Maidenhead Road / The Glebe Municipal Spital Vansittart AND Clewer Fuel (operated by independent trustees)</p>
<p>Why is this space demonstrably special?</p>	<p>Planning Policy Guidance (PPG) 17 requires that local authorities make provision for all types of open space that may be of public value, which includes adequate provision for allotments. DATE OF INAUGURATION?</p>
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	<p>Yes</p>
<p>Does this land have planning permission?</p>	<p>No</p>
<p>Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?</p>	<p>Yes. The following Acts apply: The Allotment Act 1887 Small Holdings and Allotments Act 1908 Allotments Act, 1922 (since been amended by the Local Government Act 1972) Allotments Act 1925, including specifically that: The Council must safeguard existing land used as allotments. Section 8 states that land purchased or appropriated by local authorities for use as allotments must not be disposed of without Ministerial consent. The Secretary of State must be satisfied that <i>'adequate provision will be made for allotment holders displaced by the action of the local authority, or that such provision is unnecessary or not reasonably practicable'</i>. Smallholding and Allotment Act 1926 Allotments Act 1950 Town and Country Planning Act 1971 Local Government Planning and Land Act 1980 Local Government and Planning (Amendment) Act 1981 Development proposals which would result in the loss of allotments should only be considered subject to defined criteria.</p>

Is it capable of enduring beyond the plan period?	Yes
Is this space in close proximity to the community it serves?	Yes
Is this space an extensive tract of land?	The 10 sites vary from less than 1.0 to 5.75 hectares
Is the space located within a new development and if so, how is it demonstrably special or of local significance?	No
Who is the landowner? Have they been consulted and, if so, what are their views on designation?	The RBWM, other than: Brook Street which is owned by the Crown Estate and leased to the WAHGA Clewer Fuel which is operated independently by the Clewer Fuel trustees. Not yet
How will the green space be managed in the future?	As existing

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: BASFORD WAY

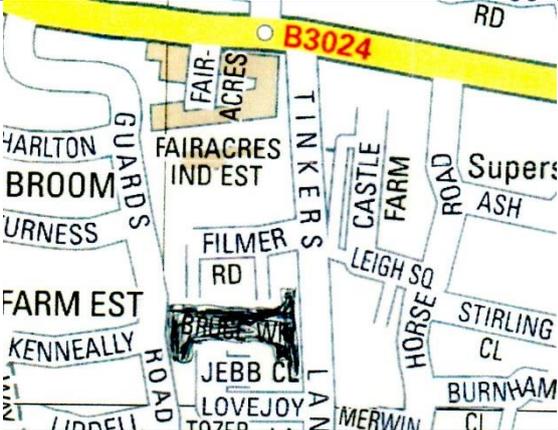
Ref: 02

<p><u>Location:</u> BASFORD WAY: This comprises two corner plots of natural and semi-natural green spaces located on the corner of Basford Way and Tinkers Lane. The North plot is bordered by (but separated from) Tozer Walk to the North. The South plot is partly divided by a brick wall. This plot runs alongside Tinkers Lane and then forms a small green square surrounded by garages and the back gardens of Basford Way residents.</p>	
<p>Why is this space demonstrably special?</p>	<p>The North plot contains mature trees TPO?, shrubs and provides a natural green space. The western perimeter provides pedestrian access for two of the Basford Way residents.</p> <p>The North plot contains several mature trees TPO? and it too provides a natural green space. The west side of this plot forms a square with access from the back gardens of residents on at least two sides. This plot can also be accessed from footpaths from both Basford Way and Tinkers Lane.</p>
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	<p>Yes</p>
<p>Does this land have planning permission?</p>	<p>No</p>
<p>Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?</p>	<p>Yes. The RBWM open Space Audit Appendix F 112 Basford Way Woodland AGS Typology 4</p>
<p>Is it capable of enduring beyond the plan period?</p>	<p>Yes</p>
<p>Is this space in close proximity to the community it serves?</p>	<p>Yes, both plots are close to houses.</p>
<p>Is this space an extensive tract of land?</p>	<p>No</p>
<p>Is the space located within a new development and if so, how is it demonstrably special or of local significance?</p>	<p>No</p>
<p>Who is the landowner? Have they been consulted and, if so, what are their views on designation?</p>	<p>RBWM VIEWS to be sought</p>
<p>How will the green space be managed in the future?</p>	<p>RBWM</p>

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: BRUCE WALK

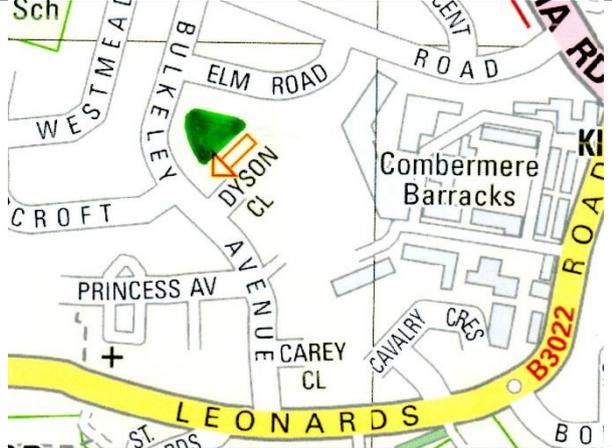
Ref: 03

<p><u>Location</u></p> <p>BRUCE WALK AMENITY GREEN SPACE AND PLAY AREA</p> <p>This is to the west of Tinkers Lane along Bruce Walk with the Play Area to the west abutting Guards Road</p>	
<p>Why is this space demonstrably special?</p>	<p>This amenity green space provides a pleasant short cut for residents accessing the Broom Farm Estate (within the Bray NP) and facilities to the east. The Play Area is a secure play area for young children and is used by both local Windsor residents and those from the Broom Farm Estate, which lies within the Bray NP Area. The Play Area is part-hard and part-grassed and includes a picnic table, bench and waste bins. The amenity green space is accessed by footpaths from Guards Road, Filmer Road, Jebb Close, Lovejoy Lane and Tinkers Lane. To the east are mature trees. TPOs?</p>
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	<p>Yes</p>
<p>Does this land have planning permission?</p>	<p>No</p>
<p>Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?</p>	<p>The Play area is covered by RBWM Open Space Audit, Appendix F list:</p> <ul style="list-style-type: none"> • 113 Bruce Walk Play Area Typology 5. <p>However the Amenity Green Space is not covered.</p>
<p>Is it capable of enduring beyond the plan period?</p>	<p>Yes</p>
<p>Is this space in close proximity to the community it serves?</p>	<p>Yes. It is surrounded by both three storey flats and houses.</p>
<p>Is this space an extensive tract of land?</p>	<p>No</p>
<p>Who is the landowner? Have they been consulted and, if so, what are their views on designation?</p>	<p>RBWM</p>
<p>How will the green space be managed in the future?</p>	<p>RBWM</p>

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: BULKELEY AVENUE PLAY AREA

Ref: 04

<p>Location:</p> <p style="text-align: center;">TO FOLLOW</p>	
<p>Why is this space demonstrably special?</p>	
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	
<p>Does this land have planning permission?</p>	
<p>Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?</p>	
<p>Is it capable of enduring beyond the plan period?</p>	
<p>Is this space in close proximity to the community it serves?</p>	
<p>Is this space an extensive tract of land?</p>	
<p>Is the space located within a new development and if so, how is it demonstrably special or of local significance?</p>	
<p>Who is the landowner? Have they been consulted and, if so, what are their views on designation?</p>	
<p>How will the green space be managed in the future?</p>	

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: CASTLE FARM SPINNEY

Ref: 05

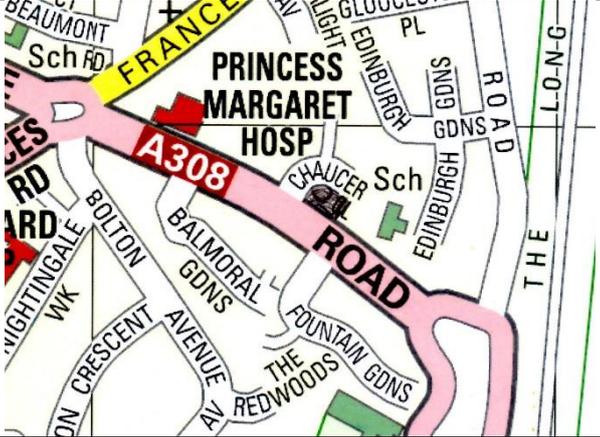
<p><u>Location:</u> Castle Farm Spinney runs north to south to the west of Priors Road starting from Burnham Close to the north and finishing just short of Wyatt Road to the South. A green corridor links the southern end running west to Basford Way.</p>	
<p>Why is this space demonstrably special?</p>	<p>It is a small woodland habitat for wildlife. It contains mature and established trees, and shrubs. A soft path meanders north to south and this path is maintained with wood chips and log borders.</p> <p>It sits just several metres north of Wolf Lane Spinney thus providing a “green corridor” of spinneys and a green lung for this area. It is a gated spinney with access to the north and south and also to the west via Burnham Close “spur”. There is a dog poo bin at the southern entrance.</p> <p>A green corridor, with asphalt path then leads west to Basford Way. This green corridor is mainly grassed and contains shrubs, mature trees and saplings.</p> <p>This forms part of the path network which enables residents to access facilities on foot avoiding the road network.</p> <p>There appears insufficient garages for local occupants and the surrounding roads are crowded with cars and this space provides relief.</p>
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	<p>Yes</p>
<p>Does this land have planning permission?</p>	<p>Yes</p>
<p>Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?</p>	<p>Yes The RBWM Open Space Audit Appendix F</p> <ul style="list-style-type: none"> • 105 Castle Farm Spinney Typology 2
<p>Is it capable of enduring beyond the plan period?</p>	<p>Yes</p>

Is this space in close proximity to the community it serves?	Yes. This sits in the middle of dense housing, no higher than two storey.
Is this space an extensive tract of land?	No
Is the space located within a new development and if so, how is it demonstrably special or of local significance?	NO
Who is the landowner? Have they been consulted and, if so, what are their views on designation?	RBWM
How will the green space be managed in the future?	RBWM

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: CHAUCER CLOSE

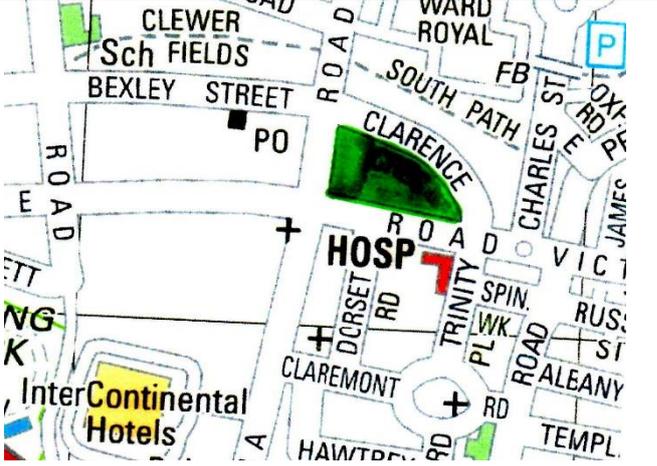
Ref: 06

<p>DESCRIPTION Open Green Space at the entrance to Chaucer Close and Local Equipped Play Area on Osborne Road</p>	
<p>Why the space is of particular importance?</p>	<p>It is an area of grass surrounded by a low fence, set at the entrance to Chaucer Close and with one side along Road. It provides a visual break in the built up area, and allows a full view of the Castle from the busy Osborne Road. There is a well-used grassed ball and general play area. and next to it is an equipped play area for young children (LEAP) surrounded by fences trees and shrubs on Osborne Road. Both share a boundary with to Queen Anne School, the entrance of which is through Chaucer Close and next to the grassed area.</p>
<p>Consistent with Local Plan policies for sustainable development</p>	
<p>Does the land have planning permission?</p>	NO
<p>Does the land already benefit from protections?</p>	?-what is designation?
<p>Capable of enduring beyond the plan period?</p>	YES
<p>Is space in close proximity to the community it serves?</p>	YES Surrounded by houses on Chaucer Close and Osborne Road.
<p>Is the space an extensive tract of land?</p>	No.
<p>Is the space located within a new development and if so how is it demonstrably special or of local significance?</p>	NO. Chaucer Close was developed in the (1980s/1990s?) on a site that was formerly partly scrubland. This space was designated as open space at that time and preserves an important view of the castle.
<p>Have the landowners been consulted and if so what were their views on designation?</p>	Owned by RBWM.? Or privately?
<p>How will the green space be managed in the future?</p>	As now. By RBWM.

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: CLARENCE CRESCENT GARDENS

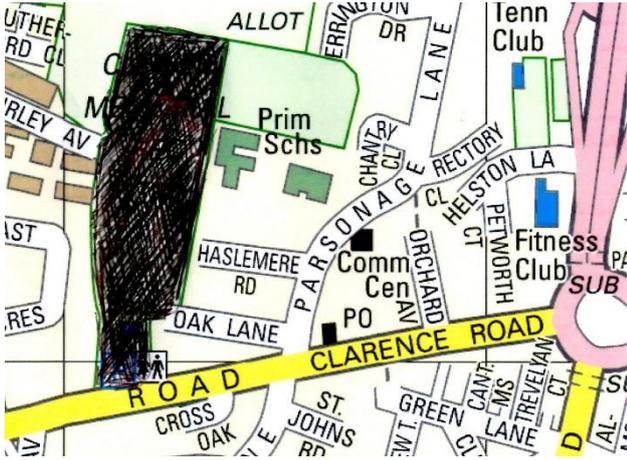
Ref: 07

<p><u>Location:</u></p> <p>Clarence Crescent Gardens is a large private garden, exclusive to the residents of designated bordering properties in Clarence Crescent and Trinity Place (part).</p>	
<p>Why is this space demonstrably special?</p>	<p>Although private, this large garden is important for a number of reasons:</p> <ul style="list-style-type: none"> • it is a “green lung” area in a very urban district near to the centre of Windsor • it can be enjoyed visually by passers-by • it contains many mature and specimen trees notably a number of impressive plane trees protected by TPOs.
<p>Is the retention of this open space consistent with the Borough Local Plan policies for sustainable development?</p>	<p>Yes</p>
<p>Does the land have planning permission?</p>	<p>No</p>
<p>Does this land already benefit from protection such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?</p>	<p>No</p>
<p>Is it capable of enduring beyond the plan period?</p>	<p>Yes</p>
<p>Is this space in close proximity to the community it serves?</p>	<p>Yes</p>
<p>Is this space an extensive tract of land?</p>	<p>No</p>
<p>Is the space located within a new development and, if so, how is it demonstrably special or of local significance@</p>	<p>No</p>
<p>Who is the landowner? Have they been consulted and if so, what are their views on designation?</p>	<p>Clarence Crescent Garden Trust, arising by virtue of an 1878 deed. There are 17 beneficiaries (viz: trustees), being the owners of the designated properties bordering the garden. Contact: Charles Coleman LLP, Solicitors of Windsor.</p>
<p>How will the green space be managed in the future?</p>	<p>No change from now</p>

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: CLEWER MEMORIAL RECREATION GROUND

Ref: 08

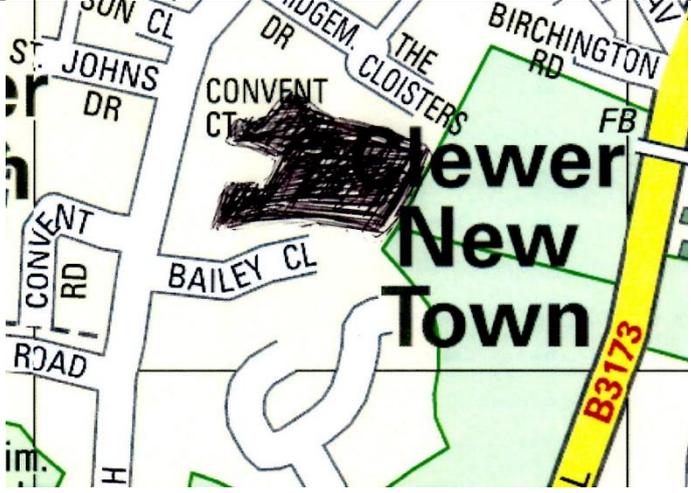
<p><u>Location:</u> Located on Dedworth Road between the Three Elms junction and St. Andrews Avenue, it has both car and pedestrian access.</p> <p>Pedestrians are also able to enter the park from Oak Lane, East Crescent and Shirley Avenue.</p>	
<p>Why is this space demonstrably special?</p>	<p><u>1) Historic importance:</u> This land is part of the Ancient Manor of Clewer (Saxon) which pre-dates construction of Windsor Castle.</p> <p>The Park contains a monument to the men of Clewer who fell in both World Wars, inaugurated on 28th January 1923 in the presence of the Earl of Athlone. Around 190 names are listed here.</p> <p><u>2) Natural habitats and wildlife:</u> A series of planting schemes around the perimeter of the park provide important “green links” for wildlife and biodiversity. The park received its third Green Flag award in July 2012 in recognition of having achieved the national standard for parks and green spaces (England and Wales).</p> <p><u>3) Beauty, Tranquillity and Recreational value:</u> Clewer Memorial Recreation Ground is close to residential areas and schools and provides a range of opportunities for individuals of all ages to enjoy various outdoor activities. It contains the following facilities:</p> <ul style="list-style-type: none"> • Car parking • Public toilets (available during Cafe opening times) • Football pitches and a sports pavilion • Equipped play area for 3 - 16 year olds • Games area for teenagers • MUGA (Multi-use Games Area) shared with the neighbouring Middle School • Outdoor Cafe (Summer opening 8am - 5pm daily) • Dog-free picnic area and picnic tables

Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?	Yes A User Group including sports users of the park, residents, Community Wardens and RBWM representatives has been set up to ensure as far as possible that the park is meeting the needs of the local community.
Does this land have planning permission?	No
Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?	RBWM designated public park
Is it capable of enduring beyond the plan period?	Yes
Is this space in close proximity to the community it serves?	Yes
Is this space an extensive tract of land?	No
Is the space located within a new development and if so, how is it demonstrably special or of local significance?	No
Who is the landowner? Have they been consulted and, if so, what are their views on designation?	RBWM
How will the green space be managed in the future?	An RBWM site management policy is currently in place and covers the period from 2009-2019.

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: CONVENT COURT Open Space

Ref: 10

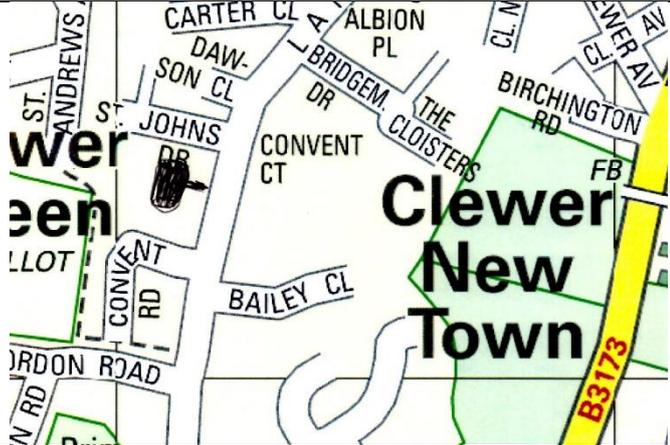
<p><u>Location:</u> This space is within the curtilage of the Convent Court and Cloisters developments (formerly the Convent of St. John the Baptist).</p> <p>There are pedestrian access points in Bridgeman Drive and Hatch Lane.</p>	
<p>Why is this space demonstrably special?</p>	<p><u>1) Historic importance:</u> Part of the Ancient Manor of Clewer (Saxon) which pre-dates construction of Windsor Castle.</p> <ul style="list-style-type: none"> • Originally this land formed part of the medieval Clewer Manor site below St. Leonard's Hill. • Ownership was subsequently transferred when construction of the Convent began in 1851. • Designated as Important Public Open Space under the planning permission for development of the Convent site (2001). <p><u>2) Natural habitats and wildlife:</u> This space provides important support for biodiversity. Historically, the Manor was rich in wildlife (part of the Windsor Forest) and the grounds also provided a supply of pheasant, partridge and other species of game which continue to survive in the local area.</p> <p>Owls, woodpeckers, a variety of small birds including wrens and thrushes, pipistrelle bats, stag beetles, frogs, toads, newts, deer and foxes are among the important wildlife supported by this environment. This includes</p> <ul style="list-style-type: none"> • open grassland and individual and groups (TPOd) of mature trees; • hedgerows and groundcover; • a water meadow and the remnants of an orchard; • subterranean streams from St. Leonard's Hill. <p><u>3) Beauty, Tranquillity and Recreational value:</u> This is an informal public open space for relaxation and informal activities. It retains the tranquil character of its former use as part of the Convent. (nb: There are no formal sports facilities, recreational equipment or buildings on this</p>

	site. These are available in Imperial Park which is accessed via Clewer New Town and Imperial Rd.)
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Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?	Yes Designated as part of RBWM Important Urban Space (See OSA paragraphs 1.6, 1.11 and 1.15)
Does this land have planning permission?	No
Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?	Yes This forms part of the setting of a Listed Building (Grade II* Chapel and Grade II former Convent SJB, designed by Henry Woodyer)
Is it capable of enduring beyond the plan period?	Yes
Is this space in close proximity to the community it serves?	Yes
Is this space an extensive tract of land?	No
Is the space located within a new development and if so, how is it demonstrably special or of local significance?	Yes See comments above
Who is the landowner? Have they been consulted and, if so, what are their views on designation?	Management Company serving the developments
How will the green space be managed in the future?	Maintenance programme involving liaison with RBWM (TPO trees)

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: CONVENT of St. John the Baptist Hallowed Ground Ref: 11

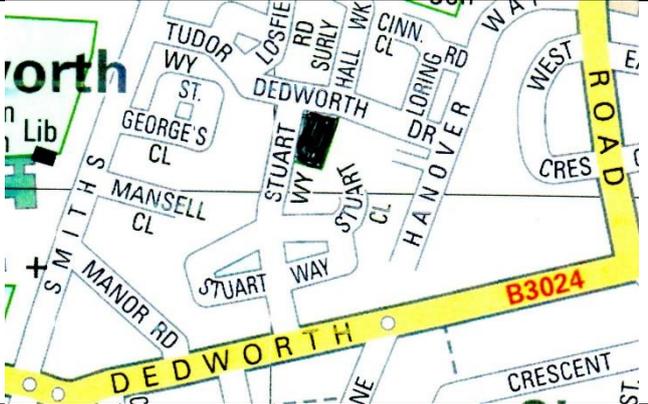
<p><u>Location:</u> This is located behind Monsell Walk residential development (51-59 Hatch Lane). Entrance gate is directly across from the main door of Convent Court. The Convent Burial Ground has <u>no public access.</u></p>	
<p>Why is this space demonstrably special?</p>	<p><u>1) Historic importance:</u> Part of the Ancient Manor of Clewer (Saxon) which pre-dates construction of Windsor Castle.</p> <ul style="list-style-type: none"> • Originally this land formed part of the medieval Clewer Manor site below St. Leonard’s Hill. • Ownership was subsequently transferred when construction of the Convent began in 1851. • Contains the graves of many early Clewer Sisters and Penitents. These are collectively marked by an ornate stone cross, visible from the entrance gate. <p><u>2) Natural habitats and wildlife:</u> This quiet space provides important support for biodiversity. Historically, Clewer Manor was rich in wildlife (as part of the Windsor Forest). Owls, woodpeckers, a variety of small birds including wrens and thrushes, pipistrelle bats, stag beetles, frogs, toads, newts, deer and foxes are among the important wildlife which are supported by this environment.</p> <p><u>3) Beauty, Tranquillity and Recreational value:</u> This retains the feeling of tranquility and reverential character of the Convent SJB, and is an important historic feature of Hatch Lane.</p>
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	<p>Yes</p>
<p>Does this land have planning permission?</p>	<p>No</p>

Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?	Yes Associated with the Grade II / II* listed Convent buildings.
Is it capable of enduring beyond the plan period?	Yes
Is this space in close proximity to the community it serves?	Yes, historically
Is this space an extensive tract of land?	No
Is the space located within a new development and if so, how is it demonstrably special or of local significance?	No
Who is the landowner? Have they been consulted and, if so, what are their views on designation?	The Clewer Sisters Not consulted.
How will the green space be managed in the future?	Ongoing management through the Clewer Sisters' Independent Trust

WNP LOCAL GREEN SPACE DESIGNATIONS

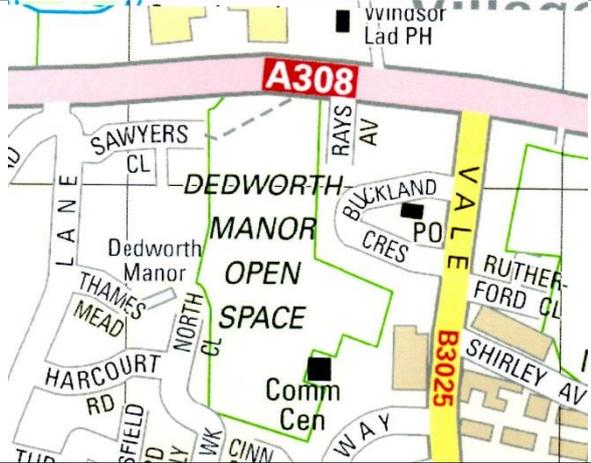
Title: DEDWORTH DRIVE/STUART WAY AMENITY SPACE

Ref: 12

<p><u>Location:</u> This is located on the south-east corner of Dedworth Drive/Stuart Way</p>	
<p>Why is this space demonstrably special?</p>	<p>This provides a green space for local residents and passers-by. Wooden fences are placed around the perimeter of this space to prevent cars from parking on the space. Along both the east and south side is hard standing for cars. It is surrounded on all sides by asphalted paths/pavement. The space contains a mature tree and shrubs.</p>
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	<p>yes</p>
<p>Does this land have planning permission?</p>	<p>no</p>
<p>Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?</p>	<p>Yes, The RBWM Open Space Audit Appendix F 132 Dedworth Drive/Stuart Way AGS Typology 4</p>
<p>Is it capable of enduring beyond the plan period?</p>	<p>yes</p>
<p>Is this space in close proximity to the community it serves?</p>	<p>Yes, it is immediately surrounded on all sides by semi-detached houses, many of which use their front gardens as hard standing for cars.</p>
<p>Is this space an extensive tract of land?</p>	<p>No</p>
<p>Is the space located within a new development and if so, how is it demonstrably special or of local significance?</p>	<p>No</p>

WNP LOCAL GREEN SPACE DESIGNATIONS

Loc: DEDWORTH MANOR & SAWYERS CLOSE OPEN SPACE Ref: 13

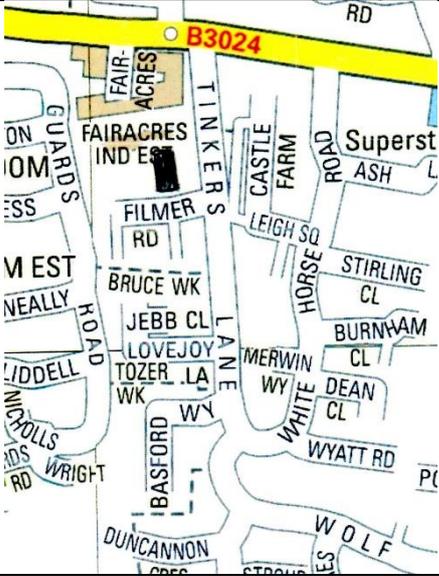
<p><u>Location:</u></p>	
<p>Why is this space demonstrably special?</p>	<ul style="list-style-type: none"> • This is one of the larger open spaces within the Area. It is well used by residents and provides a “green lung”, thus improving air quality which is particularly relevant with the busy Maidenhead Road on the North border. • The Sawyers Close high-rise blocks of flats abuts this Open Space which provides green space for those residents who do not benefit from gardens • Playing fields used for football are located on this Open Space • It is used frequently by residents for walking, particularly dog walkers. • It hosts two play areas for children, Dedworth Manor and Sawyers Close Play Areas, Dedworth Manor MUGA and an open hard court play area adjoining the Manor Youth Centre • To the South is the New Windsor Community Centre, a Pre-School facility and the Manor Youth Centre (which is rented out to various organisations) and a hard “basketball” area . • There are large trees which encourage wild habitat, and the saplings recently planted are thriving.
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	<p>Yes</p>
<p>Does this land have planning permission?</p>	<p>No.</p>

Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?	YES. The RBWM Open Space Audit, Appendix F list <ul style="list-style-type: none"> • 126 Sawyers Close • 127 Sawyers Close Play Area • 129 Dedworth Manor Play Area • 130 Dedworth Manor MUGA • 128 Dedworth Manor OSG
Is it capable of enduring beyond the plan period?	Yes.
Is this space in close proximity to the community it serves?	
Is this space an extensive tract of land?	No
Is the space located within a new development and if so, how is it demonstrably special or of local significance?	Yes. It sits in the heart of the residential area, with the Sawyers Close flats adjacent to the site. There is public access from multiple points along its boundary.
Who is the landowner? Have they been consulted and, if so, what are their views on designation?	RBWM
How will the green space be managed in the future?	RBWM. Maintained as part of protected RBWM Open Space provision.

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: FILMER ROAD PLAY AREA

Ref: 15

<p><u>Location:</u> FILMER ROAD PLAY AREA This is located to the North of Filmer Road backing onto the Fairacres Industrial Estate</p>	
<p>Why is this space demonstrably special?</p>	<p>It provides a play area for young children. It is surrounded by low walls with a high wall with murals backing onto the Fairacres Industrial Estate. There are three entrances, to the west, south and east, and these provide short-cuts for residents of Filmer Road to access Tinkers Lane. This play area contains shrubs, a picnic table, play equipment, benches and wastebins. It is a place of tranquillity surrounded by three storey blocks of flats.</p>
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	<p>Yes</p>
<p>Does this land have planning permission?</p>	<p>No</p>
<p>Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?</p>	<p>Yes. The RBWM Open Space Audit Appendix F 114 Filmer Road Paly Area Typology 5</p>
<p>Is it capable of enduring beyond the plan period?</p>	<p>Yes</p>
<p>Is this space in close proximity to the community it serves?</p>	<p>Yes. Surrounded by dense housing.</p>

Is this space an extensive tract of land?	No
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Is the space located within a new development and if so, how is it demonstrably special or of local significance?	No
Who is the landowner? Have they been consulted and, if so, what are their views on designation?	RBWM
How will the green space be managed in the future?	RBWM
Who is the landowner? Have they been consulted and, if so, what are their views on designation?	RBWM
How will the green space be managed in the future?	RBWM

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: FOOTPATH, ALMA ROAD to VANSITTART ROAD

Ref: 16

<p><u>Location:</u> This is a narrow green space alongside a well-used pedestrian route to and from the town centre . It runs from Alma Road in the East to the East Berkshire overflow car park to the West and links, via mature trees on the boundary of the adjacent development site to the Vansittart Recreation Ground.</p>	
<p>Why is this space demonstrably special?</p>	<p>This space is a rare patch of public green in a built up area. It frames the view of Holy Trinity church from the footpath (see Views: Appendix 11 View 5) It is much used by dog owners. Together with the trees just inside the development site to the south, it forms a green corridor leading to Vansittart Recreation Ground. Its size and position suggest that it might be under threat to be used as an access road.</p>
<p>Is the retention of this open space consistent with the Borough Local Plan policies for sustainable development?</p>	<p>Yes</p>
<p>Does the land have planning permission?</p>	<p>No</p>
<p>Does this land already benefit from protection such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?</p>	<p>The land is within the Trinity Place and Clarence Crescent Conservation Area. Currently not identified on PROW maps</p>
<p>Is it capable of enduring beyond the plan period?</p>	<p>Yes</p>
<p>Is this space in close proximity to the community it serves?</p>	<p>Yes</p>
<p>Is this space an extensive tract of land?</p>	<p>No</p>
<p>Is the space located within a new development and, if so, how is it demonstrably special or of local significance?</p>	<p>No</p>
<p>Who is the landowner? Have they been consulted and , if so, what are their views on designation?</p>	<p>RBWM? - views to be sought</p>
<p>How will the green space be managed in the future?</p>	<p>RBWM</p>

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: Footpath, Hatch Lane to Longbourn

Ref: 17

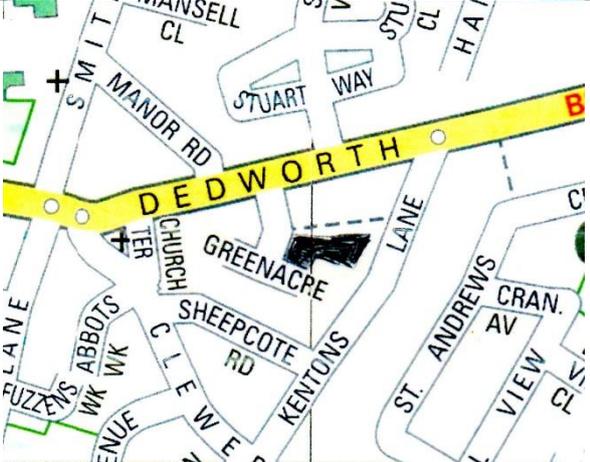
<p><u>Location:</u> <u>Two entry points:</u> Hatch Lane (adjacent to Thames Valley Hospice) and Longbourn (off Imperial Road, adjacent to Windsor Girls' School). It is a public shared-use path which can be reached by foot, cycle and car.</p>	
<p>Why is this space demonstrably special?</p>	<p><u>1) Historic importance:</u> Part of the Ancient Manor of Clewer (Saxon) which predates construction of Windsor Castle. Originally this land formed part of the medieval Clewer Manor site below St. Leonard's Hill. This had been used as an access path to Clewer Manor, running from and between enclosure plots belonging to the Foster Family at the time of their ownership of Clewer Manor (early 19th c). It became a private access for Windsor Girls' School (20th c). This was subsequently designated a public access path as part of the permission for residential housing (2000) on the former Haileybury Junior School site after it merged with Lambrook School, Winkfield.</p> <p><u>2) Natural habitats and wildlife:</u> This space provides important support for biodiversity. Historically, the Manor was rich in wildlife (part of the Windsor Forest) and the grounds also provided a supply of pheasant, partridge and other species of game which continue to survive in the local area. Owls, woodpeckers, a variety of small birds including wrens and thrushes, pipistrelle bats, stag beetles, frogs, toads, newts, deer and foxes are among the important wildlife supported by this environment which includes open grassland and TPOd individual / groups of very mature trees; hedgerows and groundcover; subterranean streams from St. Leonard's Hill and an historic network of riparian ditches (18th-19th c).</p> <p><u>3) Beauty, Tranquillity and Recreational value:</u> This access leads to areas of informal public open space for relaxation, including children's play and dog-walking,</p>

	and retains the tranquil character of the former Clewer Manor.
Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?	Yes
Does this land have planning permission?	No
Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?	Designated a Public Right of Way under the terms of the planning permission (2000) for the Longbourn development (formerly Haileybury Junior School, Clewer Manor). Currently not identified on PROW maps.
Is it capable of enduring beyond the plan period?	Yes
Is this space in close proximity to the community it serves?	Yes
Is this space an extensive tract of land?	No
Is the space located within a new development and if so, how is it demonstrably special or of local significance?	See comments above
Who is the landowner? Have they been consulted and, if so, what are their views on designation?	RBWM
How will the green space be managed in the future?	RBWM management programme

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: GREENACRE AMENITY GREEN SPACE

Ref: 18

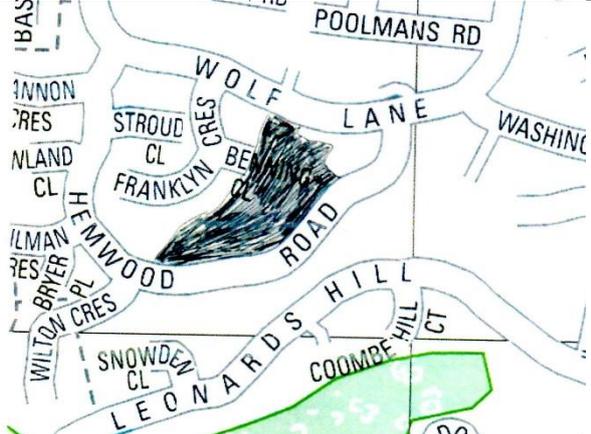
<p><u>Location:</u> This abuts Greenacre to the east.</p>	
<p>Why is this space demonstrably special?</p>	<p>Greenacre is a no-through road, in which the houses face the space on three sides; the eastern side abuts the back gardens of houses in Kentons Lane. The front or back gardens of many houses are hard standing for cars and thus this space provides a valuable amenity. Wooden posts are erected round the perimeter to prevent cars from parking on the space. It contains well-established, mature trees and shrubs. It is used by children for play.</p>
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	<p>Yes</p>
<p>Does this land have planning permission?</p>	<p>No</p>
<p>Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?</p>	<p>Yes. The RBWM Open Space Audit appendix F</p> <ul style="list-style-type: none"> • 96 Greenacre Typology 4
<p>Is it capable of enduring beyond the plan period?</p>	<p>Yes</p>
<p>Is this space in close proximity to the community it serves?</p>	<p>Yes, it is surrounded by the terraced houses of Greenacre.</p>
<p>Is this space an extensive tract of land?</p>	<p>No</p>

<p>Is the space located within a new development and if so, how is it demonstrably special or of local significance?</p>	<p>No</p>
<p>Who is the landowner? Have they been consulted and, if so, what are their views on designation?</p>	<p>RBWM. There is a sign, "Private Green. No dogs or vehicles".</p>
<p>How will the green space be managed in the future?</p>	<p>RBWM</p>

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: HEMWOOD DELL

Ref: 19

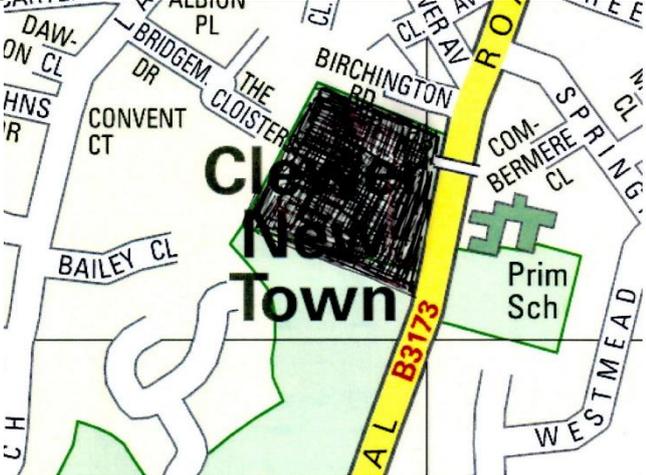
<p><u>Location:</u> Located between Wolf Lane/Benning Close, Franklyn Crescent/Hemwood Road</p>	
<p>Why is this space demonstrably special?</p>	<p>This is a Natural and Semi Natural Green Space and a place for valued habitat and wildlife. It has formal access points from Wolf Lane, Benning Close and three from Hemwood Road, as well as informal access points. It has asphalt paths running along the western side and from Wolf Lane South East to Hemwood road. It has a marked, but not asphalt, path from the western corner of Hemwood Road to the centre and looping back onto Hemwood road further east. It is well used by walkers and children and provides a “green” link from Hemwood Road to Wolf Lane. A “clean up after your dog” bin is provided. It contains mature and well-established trees and shrubs</p>
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	<p>Yes</p>
<p>Does this land have planning permission?</p>	<p>No</p>
<p>Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?</p>	<p>Yes, the RBWM Open space Audit Appendix F</p> <ul style="list-style-type: none"> • 108 Hemwood Dell NSN Typology 2
<p>Is it capable of enduring beyond the plan period?</p>	<p>Yes</p>
<p>Is this space in close proximity to the community it serves?</p>	<p>Yes, it is surrounded on all sides by houses</p>
<p>Is this space an extensive tract of land?</p>	<p>No</p>
<p>Is the space located within a new development and if so, how is it demonstrably special or of local significance?</p>	<p>No</p>

Who is the landowner? Have they been consulted and, if so, what are their views on designation?	RBWM
How will the green space be managed in the future?	RBWM

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: IMPERIAL PARK

Ref: 20

<p><u>Location:</u> Imperial Road provides pedestrian, cycle and car access to the site with an additional pedestrian/cycle access from Clewer New Town. It can also be accessed by the pedestrian bridge over Imperial Road.</p>	
<p>Why is this space demonstrably special?</p>	<p><u>1) Historic importance:</u> Part of the Ancient Manor of Clewer (Saxon) which pre-dates construction of Windsor Castle.</p> <p><u>2) Natural habitats and wildlife:</u> The open grassland, streams, ditches and hedgerows on this site provide support for local biodiversity and is an important “green link”. A number of species of small birds, insects, bats and other creatures depend on this to provide a vital conduit within the local green infra-structure which connect a range of natural habitats from St. Leonard’s Hill to the river.</p> <p>These also create visual respite and air pollution “buffers” between neighbouring residential areas and the heavy volumes of traffic on Imperial Road.</p> <p><u>3) Beauty, Tranquillity and Recreational value:</u> The Park was created specifically to provide quiet informal public open space for relaxation and informal activities, including an equipped children’s play area, space for organised games and matches, and dog-walking. There are toilets, changing facilities and parking on-site. The site’s beauty reflects the Manor’s long, evolving natural history.</p>
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	<p>Yes</p>
<p>Does this land have planning permission?</p>	<p>No</p>

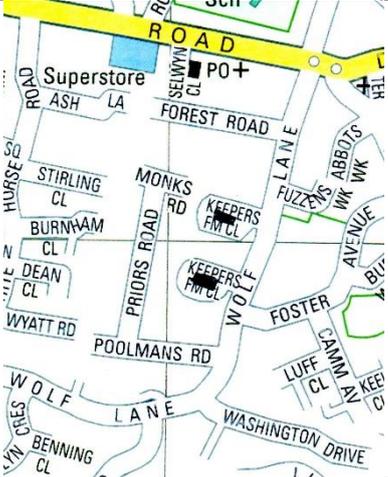
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Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?	No
Is it capable of enduring beyond the plan period?	Yes
Is this space in close proximity to the community it serves?	Yes See comments above
Is this space an extensive tract of land?	
Is the space located within a new development and if so, how is it demonstrably special or of local significance?	No
Who is the landowner? Have they been consulted and, if so, what are their views on designation?	RBWM
How will the green space be managed in the future?	RBWM management programme

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: KEEPERS FARM CLOSE

Ref: 21

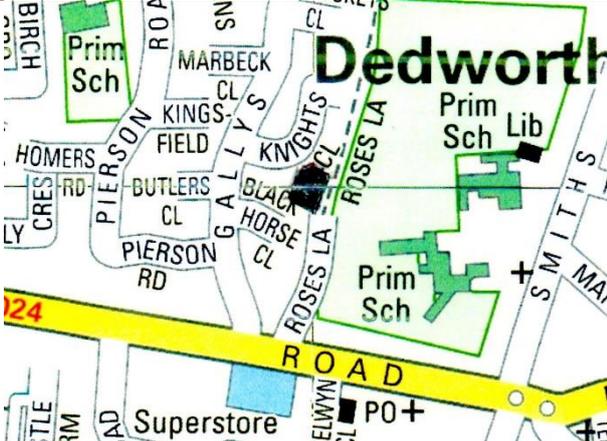
<p><u>Location:</u> Keepers Farm Close. This comprises two Closes off Wolf Lane. At the centre of each close are two open green spaces with established trees, each close being surrounded by road</p>	
<p>Why is this space demonstrably special?</p>	<p>Both provide a green space and pedestrians and there is pedestrian access between each Close and to Priors Road, thus providing a green short-cut for pedestrians to/from both Priors and Monks Roads. These areas are used for restricted recreational purposes, eg: swinging tyres on the trees.</p>
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	<p>Yes</p>
<p>Does this land have planning permission?</p>	<p>No</p>
<p>Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?</p>	<p>Yes, the RBWM Open Space audit, appendix F list 104 Keepers Farm Close South Typology 2 103 Keepers Farm Close North typology 2</p>
<p>Is it capable of enduring beyond the plan period?</p>	<p>Yes</p>
<p>Is this space in close proximity to the community it serves?</p>	<p>Yes. They are closely surrounded by two storey houses and bungalows.</p>
<p>Is this space an extensive tract of land?</p>	<p>No</p>
<p>Is the space located within a new development and if so, how is it demonstrably special or of local significance?</p>	<p>No</p>
<p>Who is the landowner? Have they been consulted and, if so, what are their views on designation?</p>	<p>RBWM. Await their views</p>

How will the green space be managed in the future?	RBWM
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WNP LOCAL GREEN SPACE DESIGNATIONS

Title: KNIGHTS CLOSE PLAY AREA

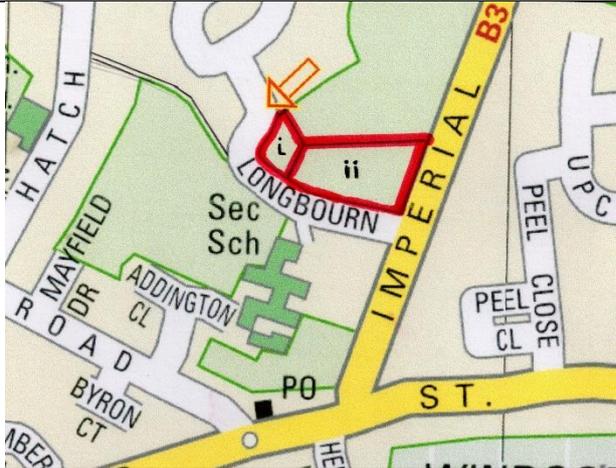
Ref: 22

<p><u>Location:</u> Off Gallys Road accessed via Knights Close</p>	
<p>Why is this space demonstrably special?</p>	<p>This is a secure play area for younger children and well-used by local families attending Homer First School. It has both hard and grassed areas and includes playground equipment, a picnic bench, benches, and wastebins. It is bordered on the North side by the Public Footpath connecting Knights Close to Rose Lane, and the rest of the perimeter is well covered by shrubs. There is one sapling within the area.</p>
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	<p>Yes</p>
<p>Does this land have planning permission?</p>	<p>no</p>
<p>Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?</p>	<p>Yes The RBWM Open Space Audit, Appendix F</p> <ul style="list-style-type: none"> 137 Knights Close Play Area Typology 5
<p>Is it capable of enduring beyond the plan period?</p>	<p>yes</p>
<p>Is this space in close proximity to the community it serves?</p>	<p>Yes, surrounded by two and three story houses, semis and detached dwelling.</p>
<p>Is this space an extensive tract of land?</p>	<p></p>
<p>Is the space located within a new development and if so, how is it demonstrably special or of local significance?</p>	<p>No</p>
<p>Who is the landowner? Have they been consulted and, if so, what are their views on designation?</p>	<p>RBWM</p>
<p>How will the green space be managed in the future?</p>	<p>RBWM</p>

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: LONGBOURN OPEN SPACE, off Imperial Road

Ref: 23

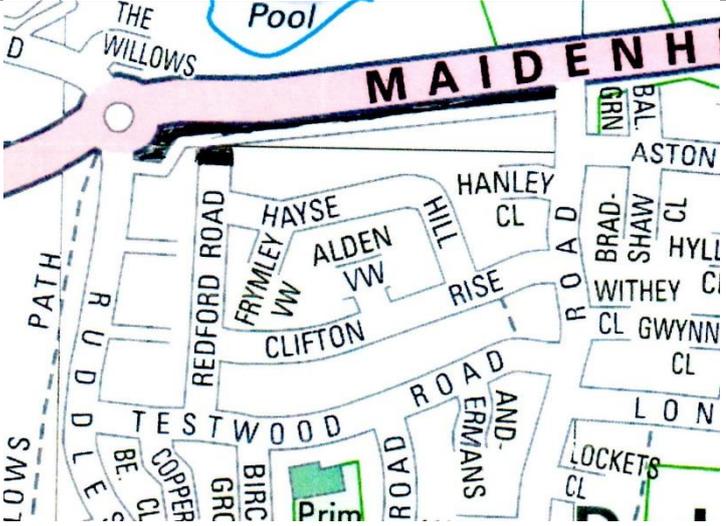
<p><u>Location:</u> Access from Imperial Road near the junction with St. Leonard's Road.</p>	
<p>Why is this space demonstrably special?</p>	<p>This attractive green space reflects the former Manor's long associations with the area, including its connection to Windsor Forest, and is well used by local residents.</p> <ol style="list-style-type: none"> 1) <u>Historic importance:</u> Part of the Ancient Manor of Clewer (Saxon) which predates the construction of Windsor Castle, this space is part of the setting of the listed building (Clewer Manor, Grade II). 2) <u>Natural habitats and wildlife:</u> The grassy areas, mature and specimen trees, shrubs, hedgerows and streams provide support for local soil, water and air-borne biodiversity. Species of small birds, bats, insects and other creatures historically found here also depend on this vital green network which connects a range of important natural habitats stretching from St. Leonard's Hill to the river. 3) <u>Beauty, Tranquillity and Recreational value:</u> This area was retained and re-allocated specifically to provide public open space for relaxation, informal activities and games. It includes: <ol style="list-style-type: none"> (i) a Children's Local Equipped Area of Play (LEAP) funded by S106 contributions from the development of the former Haileybury Junior School (ex-Clewer Manor and Imperial Service College). (ii) a school playing field for use by Windsor Girls' School and the local community as part of combined land agreements relating to three adjoining sites (Haileybury, WGS and Thames Hospice).
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	<p>Yes</p>

Does this land have planning permission?	No
Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?	Yes It is part of the setting of a listed building (Clewer Manor, Grade II).
Is it capable of enduring beyond the plan period?	Yes
Is this space in close proximity to the community it serves?	Yes. It is adjacent to residential areas and near several local schools.
Is this space an extensive tract of land?	No
Is the space located within an existing or new development and if so, how is it demonstrably special or of local significance?	Yes. This open space was provided under the terms of the planning permission for the Longbourn development (2000). See notes above.
Who is the landowner? Have they been consulted and, if so, what are their views on designation?	RBWM (and Longbourn residents'/private management Company?)
How will the green space be managed in the future?	See above

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: MAIDENHEAD ROAD AMENITY GREEN SPACE 1

Ref: 24

<p><u>Location:</u> This is located on the south side of the Maidenhead Road, between Ruddlesway and Gallys Road. There are two parts to this – a narrow strip parallel to the Maidenhead Road and a small square at the end of Redford Road. Running parallel with this main road is a residential road also called Maidenhead Road referred here as the minor Maidenhead Road. This Space is located between the major and minor Maidenhead Road.</p>	
<p>Why is this space demonstrably special?</p>	<p>This narrow strip provides a buffer to the traffic on Maidenhead Road in terms of noise, sight and pollution. This strip is in layers – working south from the main Maidenhead Road there is an asphalt path, a grass verge, a high and well established beech hedge with a wide variety of well-established trees growing through it, and finally grass. The asphalt footpath is rarely used as pedestrians and cyclists use the quieter and safer minor Maidenhead Road abutting this green space. At the eastern end of this strip are well established trees and a sapling. This open strip complements the open front gardens of the houses on Maidenhead Road.</p> <p>The small square at the end of Frymley View is grassed with well-established trees providing a green view from Frymley view.</p> <p>The minor Maidenhead Road can be accessed by vehicles from both the West and East ends, whilst there is pedestrian access to the east side of the Willows roundabout and footpaths to Frymley view and Hayse Hill. Dedworth residents can use this green space to access Sutherland Grange which lies just to the north.</p>
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	<p>Yes</p>
<p>Does this land have planning permission?</p>	<p>No</p>
<p>Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI,</p>	<p>TBA. Not seen on RBWM Open Space Audit.</p>

Scheduled Monument or Conservation Area?	
Is it capable of enduring beyond the plan period?	Yes
Is this space in close proximity to the community it serves?	Yes. To the south of this Space lie detached houses.
Is this space an extensive tract of land?	No
Is the space located within a new development and if so, how is it demonstrably special or of local significance?	No
Who is the landowner? Have they been consulted and, if so, what are their views on designation?	RBWM
How will the green space be managed in the future?	RBWM

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: MAIDENHEAD ROAD AMENITY GREEN SPACE 2

Ref: 25

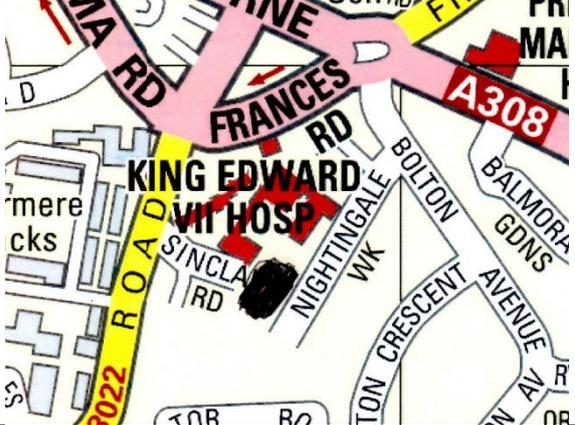
<p><u>Location:</u> This located south of the Maidenhead road between Gallys Road/Ballard Green, Whiteley/Burnetts Road/Smiths Lane. Maidenhead Road is a busy road with maximum permitted traffic speeds of 40 mph.</p>	
<p>Why is this space demonstrably special?</p>	<p>This space provides a buffer to the traffic on Maidenhead Road in terms of noise, sight and pollution. This strip is in layers – working south from the main Maidenhead Road there is a wide pedestrian/cyclist shared asphalt path, a grass verge, a high and well established beech hedge, and finally grass. There are a wide variety of mature and well-established trees, a sapling as well as areas of natural planting flowers/grasses. There are dog poo bins and waste bins. It is well-used by dog walkers. Cyclists are forbidden.</p> <p>This style of space is complemented by the open front gardens of neighbouring properties.</p> <p>An asphalt footpath runs through from Ballard Green to Whiteley and through an entrance in the hedge leading to the pedestrian controlled traffic lights across the Maidenhead Road to the main entrance to Sutherland Grange. Thus this Space provides a “green~ route for Dedworth residents to access Sutherland Grange.</p>
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	<p>Yes</p>
<p>Does this land have planning permission?</p>	<p>No</p>
<p>Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?</p>	<p>Yes. The RBWM Open Space Audit Appendix F</p> <ul style="list-style-type: none"> • 125 Whitely Amenity Area Typology 4

Is it capable of enduring beyond the plan period?	Yes
Is this space in close proximity to the community it serves?	Yes, to the south are detached houses facing this Space
Is this space an extensive tract of land?	no
Is the space located within a new development and if so, how is it demonstrably special or of local significance?	no
Who is the landowner? Have they been consulted and, if so, what are their views on designation?	RBWM
How will the green space be managed in the future?	RBWM

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: NIGHTINGALE WALK

Ref: 26

<p>DESCRIPTION NIGHTINGALE WALK Open Space, footpath, and Play Area Between Nightingale Walk and Sinclair Road</p>	 <p>The map shows a street network in a residential area. Key roads include Sinclair Road (yellow), Nightingale Walk (pink), Bolton Avenue (pink), and King Edward VII Hospital (red). Other roads shown are Frances Road, Bolton Crescent, and Balmore Avenue. A black dot on Nightingale Walk indicates the location of the green space.</p>
<p>Why the space is of particular importance?</p>	<p>It is a ball and play area, as well as a separate LEAP for smaller children. It also acts a footpath that joins Sinclair Road (and St Leonards Road) with Nightingale Walk (and Bolton Avenue) and so aids local connectivity. Overlooked by houses on Kensington Mews.</p>
<p>Consistent with Local Plan policies for sustainable development</p>	
<p>Does the land have planning permission?</p>	<p>NO</p>
<p>Does the land already benefit from protections?</p>	<p>Yes. what is designation?</p>
<p>Capable of enduring beyond the plan period?</p>	<p>YES</p>
<p>Is space in close proximity to the community it serves?</p>	<p>YES. Surrounded by houses on Sinclair Road.</p>
<p>Is the space an extensive tract of land?</p>	<p>No.</p>
<p>Is the space located within a new development and if so how is it demonstrably special or of local significance?</p>	<p>No</p>
<p>Have the landowners been consulted and if so what were their views on designation?</p>	<p>RBWM</p>
<p>How will the green space be managed in the future?</p>	<p>As now</p>

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: OSGOOD PARK

Ref: 27

<p><u>Location:</u> This is located between Wolf lane, Fuzzens Walk and Foster Avenue</p>	
<p>Why is this space demonstrably special?</p>	<p>This Park is named after Peter Osgood, the well-known footballer who lived locally. It is on a slight hill and thus affords views of the rolling Buckinghamshire Hills to the North. Within the Park there is the secure Osgood Park Play Area for young children, which is grassed and contains play equipment and a bench. It can be accessed from two points. Within the Park is a multi use play area for youngsters with two benches to view the activities. The Park contains shrubbery, saplings, well-established and mature trees. There is a small garden at the eastern side. There are numerous dog poo bins, a picnic bench and benches. Paths run through the Park linking Fuzzens Way to Wolf Lane and Foster Avenue. In the Spring there is a profusion of daffodils and one area is designated the Marie Curie Cancer Care Field. There are wooden posts to prevent cars from parking on the park. It is used by walkers, runners. The housing estate to the south off Foster Avenue contains many footpaths and alleys which give these residents easy walking access to the Park.</p>
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	<p>Yes.</p>
<p>Does this land have planning permission?</p>	<p>No</p>
<p>Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?</p>	<p>Yes The RBWM Open Space Audit Appendix F</p> <ul style="list-style-type: none"> • 101 Osgood Park Typology 1
<p>Is it capable of enduring beyond the plan period?</p>	<p>Yes</p>
<p>Is this space in close proximity to the community it serves?</p>	<p>Yes. It is surrounded on all sides by single storey dwellings, terraced houses, semi-detached houses, and</p>

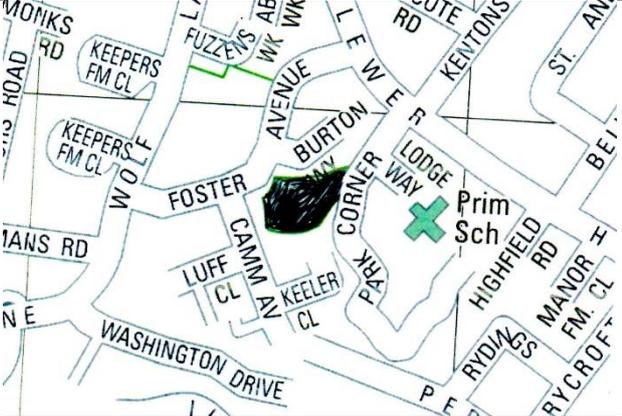
	two storey blocks of flats. A Scouts Hut sits just beyond the North West corner.
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Is this space an extensive tract of land?	
Is the space located within a new development and if so, how is it demonstrably special or of local significance?	No
Who is the landowner? Have they been consulted and, if so, what are their views on designation?	RBWM
How will the green space be managed in the future?	RBWM

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: PARK CORNER

Ref: 28

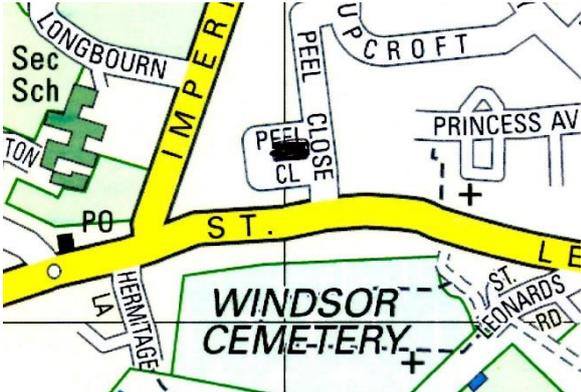
<p><u>Location:</u> This is surrounded by Burton Way, Park Corner, Keeler Close, Camm Avenue and Foster Avenue</p>	
<p>Why is this space demonstrably special?</p>	<p>This Amenity Green Space contains the Keeler Close Kickabout Area for young children, with saplings, a grassed area and a hard surfaced basketball/multi use court. It contains the secure Keeler Close Play Area for younger children, which is mainly tarmaced with play equipment, benches and waste bins</p> <p>The Green space, which has both saplings and well-established trees is crisscrossed with asphalt paths running from Park Corner, Burton Way, two from Foster Avenue and two from Camm Avenue. The main path connecting Park Corner with Foster Avenue is lit by streetlamps Golf is forbidden. It is used by dog walkers and there are dog poo bins.</p>
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	<p>Yes</p>
<p>Does this land have planning permission?</p>	<p>No</p>
<p>Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?</p>	<p>Yes. The RBWM Opens Space Audit, Appendix F</p> <ul style="list-style-type: none"> • 99 Keeler Close Teenscene Typology 6 • 98 Keeler Close Play Area Typology 5 • 100 Park Corner AGS Typology 2
<p>Is it capable of enduring beyond the plan period?</p>	
<p>Is this space in close proximity to the community it serves?</p>	<p>Yes. The space is surrounded by two storey flats, houses and bungalows, some of whom have open access to the space. In all there are six access points to this space.</p>
<p>Is this space an extensive tract of land?</p>	<p>No</p>

Is the space located within a new development and if so, how is it demonstrably special or of local significance?	No
Who is the landowner? Have they been consulted and, if so, what are their views on designation?	RBWM
How will the green space be managed in the future?	RBWM

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: PEEL CLOSE AGS

Ref: 29

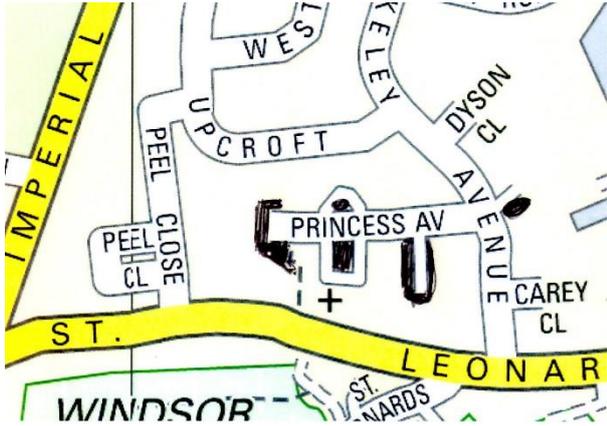
<p><u>Location:</u> Off St. Leonard's Road, it is also directly accessible from the footpath to Imperial Road.</p>	
<p>Why is this space demonstrably special?</p>	<p><u>1) Historic importance:</u> Part of the Ancient Manor of Clewer (Saxon) which pre-dates construction of Windsor Castle.</p> <p><u>2) Natural habitats and wildlife:</u> Hedgerows near this open space provide support for local biodiversity and is an important "green link". A number of species of small birds, insects and other creatures depend on this to provide a vital conduit within the local green infrastructure which connect a range of natural habitats from St. Leonard's Hill to the river.</p> <p><u>3) Beauty, Tranquillity and Recreational value:</u> This was created specifically as amenity green space to provide tranquil public open space ("village green") for relaxation and informal activities. It provides a visual respite and an important "green lung" for the area.</p>
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	<p>Yes</p> <p>See OSA commentary</p>
<p>Does this land have planning permission?</p>	<p>No</p>
<p>Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?</p>	<p>No</p>
<p>Is it capable of enduring beyond the plan period?</p>	<p>Yes</p>

Is this space in close proximity to the community it serves?	Yes
Is this space an extensive tract of land?	No
Is the space located within a new development and if so, how is it demonstrably special or of local significance?	It serves as the amenity green space for the quadrangle of houses in Peel Close and is both visually attractive and an informal recreation area ("village green").
Who is the landowner? Have they been consulted and, if so, what are their views on designation?	RBWM
How will the green space be managed in the future?	RBWM

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: PRINCESS AVENUE

Ref: 30

<p><u>Location:</u></p>	
<p>Why is this space demonstrably special?</p>	<p><u>1) Historic importance:</u> Part of the Ancient Manor of Clewer (Saxon) which pre-dates construction of Windsor Castle.</p> <p><u>2) Natural habitats and wildlife:</u> Hedgerows on their boundaries provide support for local biodiversity and are an important “green link”. A number of species of small birds, insects and other creatures depend on this to provide a vital conduit within the local green infrastructure which connect a range of natural habitats running from St. Leonard’s Hill to the river.</p> <p><u>3) Beauty, Tranquillity and Recreational value:</u> This provides tranquil visual amenity and informal open space for relaxation and informal activities, including dog-walking.</p>
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	<p>Yes See OSA commentary</p>
<p>Does this land have planning permission?</p>	<p>No</p>
<p>Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?</p>	<p>No</p>
<p>Is it capable of enduring beyond the plan period?</p>	<p>Yes</p>
<p>Is this space in close proximity to the community it serves?</p>	<p>Yes</p>
<p>Is this space an extensive tract of land?</p>	<p>No</p>

<p>Is the space located within a new development and if so, how is it demonstrably special or of local significance?</p>	<p>It serves the houses in Princess Avenue as both visual amenity and informal recreation space (“village green”).</p>
<p>Who is the landowner? Have they been consulted and, if so, what are their views on designation?</p>	<p>RBWM</p>
<p>How will the green space be managed in the future?</p>	<p>RBWM</p>

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: School Playing Fields Overview

Ref: 31

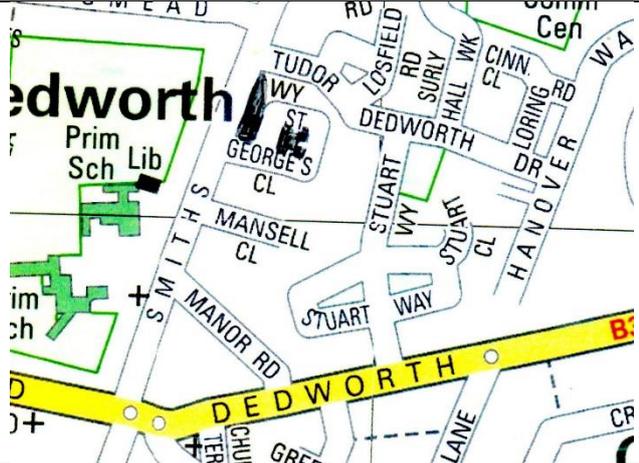
<p><u>Location:</u> Playing fields attaching to or related to these nominated schools</p>	<p>The following 13 schools are located within the WNP area and are maintained by the Borough.</p> <p>Clewer Green, Hatch lane Dedworth Middle, Smiths Lane Hilltop, Clewer Hill Rd Homer, Testwood Road Oakfield First, Imperial Road St Edwards First, Parsonage Lane St Edwards Royal Free, Parsonage Lane The Lawns Nursery The Queen Anne, Chaucer Close Trevelyan Middle, Wood Close Trinity St Stephens Windsor Boys, Maidenhead Road Windsor Girls, Imperial Road</p>
<p>Why is this space demonstrably special?</p>	<p>“Standards For School Premises 2015” confirms that all maintained schools <u>and</u> academies must provide suitable outdoor space to enable physical education in accordance with the school curriculum and to enable pupils to play outside. There is a very strong policy presumption against the disposal of school playing field land.</p>
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	<p>Yes, but to be discussed with the RBWM</p>
<p>Does this land have planning permission?</p>	<p>No</p>
<p>Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?</p>	<p>Yes</p> <p><u>Disposals</u> School Standards & Framework Act 1998: Section 77 Academies Act 2010: Schedule 1</p> <p><u>Changes of Use</u> School Standards & Framework Act 1998: Section 77(3) Academies Act 2010: Schedule 1 (17)</p>
<p>Is it capable of enduring beyond the plan period?</p>	<p>Yes</p>
<p>Is this space in close proximity to the community it serves?</p>	<p>Yes</p>
<p>Is this space an extensive tract of land?</p>	<p>Varies</p>

<p>Is the space located within a new development and if so, how is it demonstrably special or of local significance?</p>	<p>No</p>
<p>Who is the landowner? Have they been consulted and, if so, what are their views on designation?</p>	<p>RBWM Not yet</p>
<p>How will the green space be managed in the future?</p>	<p>Assuming no change to the status quo, as existing. Conversely the government initiative to encourage all schools to convert to academies or to join academy chains means that they will be administered by individual academy trusts having charitable status, who may wish to manage their own assets in accordance with strategic policy. The existing legislation appears to offer protection in this case.</p>

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: ST GEORGES CLOSE

Ref: 32

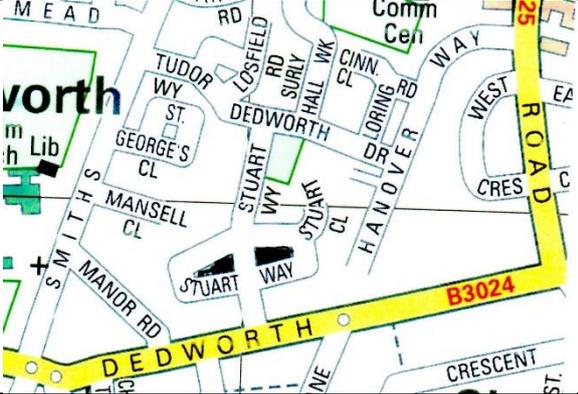
<p><u>Location:</u> St George’s Close is off Smiths Lane to the East opposite the Library and Schools. It comprises two parts, a green and a green space running alongside Smiths Lane</p>	
<p>Why is this space demonstrably special?</p>	<p>The green is surrounded on three sides by semi detached houses. It contains mature trees and a sapling. ON three sides there are “parking cutouts” accommodating 19 car parking places. Houses 25-30 do not face the green but are reached only by foot via a footpath on the South east corner lit by a lamppost connecting St George’s Close to Mansell Close. There is a footpath on the north east corner connecting with Tudor Way. These paths form part of the path network in this area enabling walkers to access facilities such as library and schools without having to walk along busy roads. The green is used by children and dog walkers .</p> <p>The green space running alongside Smiths Lane contains well-established trees, a sapling and shrubs. This complements the style of Smiths Lane which has wide green verges.</p>
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	<p>Yes</p>
<p>Does this land have planning permission?</p>	<p>No</p>
<p>Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?</p>	<p>Yes The RBWM Open Space Audit Appendix F</p> <ul style="list-style-type: none"> • 133 AGS St Georges Close Typology 4
<p>Is it capable of enduring beyond the plan period?</p>	<p>Yes</p>

Is this space in close proximity to the community it serves?	Yes. The library and schools are within minutes walk.
Is this space an extensive tract of land?	No
Is the space located within a new development and if so, how is it demonstrably special or of local significance?	No
Who is the landowner? Have they been consulted and, if so, what are their views on designation?	The green is maintained by the Housing Association whilst the space alongside Smiths Lane by the RBWM
How will the green space be managed in the future?	Housing Association and RBWM

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: STUART WAY AMENITY GREEN SPACES

Ref: 33

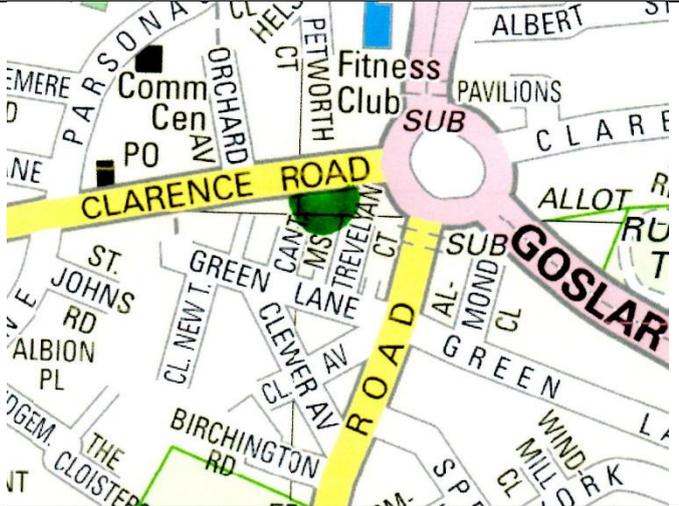
<p><u>Location:</u> Two green spaces in the two loops of Stuart Way just North of Dedworth Road</p>	
<p>Why is this space demonstrably special?</p>	<p>The Green Space to the West has been reduced by being “cut into” on three sides to allow some 35 car parking places. Both spaces have established trees and saplings. They are immediately surrounded by semi-detached houses, many of which have hard standing in the front garden for cars. There is footpath access from the North West to Mansell Close and from the North East to Stuart Close and Hanover Way, which contains three storey blocks of flats. This green space thus provides a “green route” for many residents to access the shops and facilities on Dedworth Road as well as the Schools, Library and Church on Smiths Lane</p>
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	<p>yes</p>
<p>Does this land have planning permission?</p>	<p>No</p>
<p>Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?</p>	<p>Yes, the RBWM Space Audit Appendix F</p> <ul style="list-style-type: none"> • 92 Stuart Way AGS Typology 4 • 92 Stuart Way AGS Typology 4
<p>Is it capable of enduring beyond the plan period?</p>	<p>Yes</p>
<p>Is this space in close proximity to the community it serves?</p>	<p>Yes, it is immediately surrounded by semi-detached houses, and has pedestrian access to bungalows the three storey blocks of flats</p>
<p>Is this space an extensive tract of land?</p>	<p>No</p>

Is the space located within a new development and if so, how is it demonstrably special or of local significance?	No
Who is the landowner? Have they been consulted and, if so, what are their views on designation?	RBWM
How will the green space be managed in the future?	RBWM

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: TREVELYAN OPEN SPACE

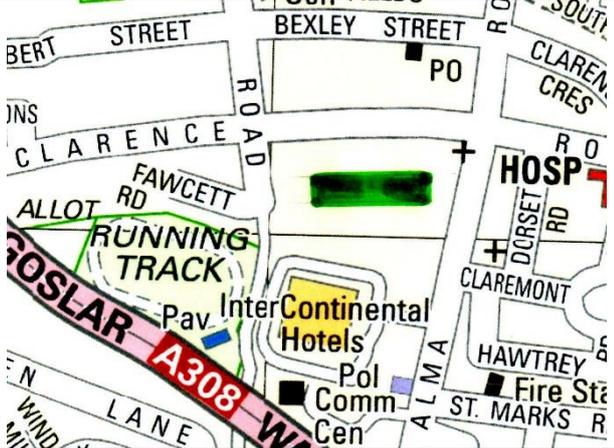
Ref: 35

<p>Location:</p> <p style="text-align: center; color: red; font-weight: bold;">TO FOLLOW</p>	
<p>Why is this space demonstrably special?</p>	
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	
<p>Does this land have planning permission?</p>	
<p>Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?</p>	
<p>Is it capable of enduring beyond the plan period?</p>	
<p>Is this space in close proximity to the community it serves?</p>	
<p>Is this space an extensive tract of land?</p>	
<p>Is the space located within a new development and if so, how is it demonstrably special or of local significance?</p>	
<p>Who is the landowner? Have they been consulted and, if so, what are their views on designation?</p>	
<p>How will the green space be managed in the future?</p>	

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: TRINITY WILD LIFE GARDEN

Ref: 36

<p>Location:</p> <p style="text-align: center;">TO FOLLOW</p>	
<p>Why is this space demonstrably special?</p>	
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	
<p>Does this land have planning permission?</p>	
<p>Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?</p>	
<p>Is it capable of enduring beyond the plan period?</p>	
<p>Is this space in close proximity to the community it serves?</p>	
<p>Is this space an extensive tract of land?</p>	
<p>Is the space located within a new development and if so, how is it demonstrably special or of local significance?</p>	
<p>Who is the landowner? Have they been consulted and, if so, what are their views on designation?</p>	
<p>How will the green space be managed in the future?</p>	

WNP LOCAL GREEN SPACE DESIGNATIONS

TITLE: Vansittart Recreation Ground

REF: 37

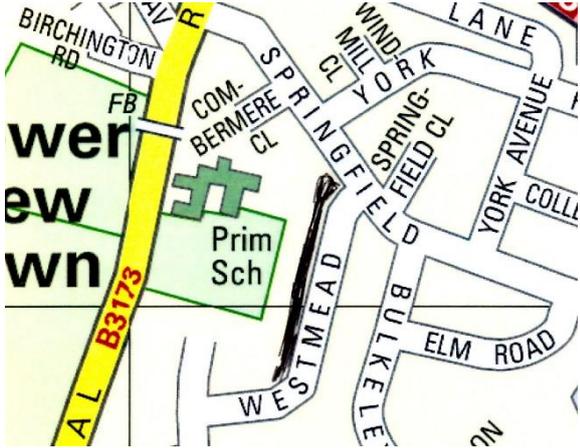
<p><u>Location/Description:</u> Vansittart Recreation Ground is a roughly rectangular parcel of ground, about 2.5 hectares in area, between Goslar Way and the south end of Vansittart Road which is closed to motor traffic. There are access points from Vansittart Road where there is a small car park and off Goslar Way. Footpaths give access to Alma Road and under Goslar Way to Green Lane.</p>	<p><u>Map</u></p> 
<p>Why is this space demonstrably special?</p>	<p>The Recreation Ground was for many years the home of Windsor and Eton Athletics Club and was formed into a public park in 2000 after the Club moved out. There was a proposal by RBWM to develop the land for housing but this was not proceeded with following a local campaign and the acknowledgement that this area of Windsor is deficient in public open space.</p> <p>As currently set out, the Recreation Ground consists of three areas, a dog free central green space containing a children’s play area and kick about area, a dog walking track of 1000 paces round the outside and a purpose built skate board park. There are a number of mature trees on the margins together with more recent tree, shrub and meadow planting.</p> <p>All parts of the park are very well used. One Sunday in spring 2016, for example, 30 youngsters were using the skate board park. Many people walk their dogs there and it is the only suitable green space for dog walking in the area. Families with children use the park regularly and walkers and joggers take exercise there. Residents cross the park to access local facilities.</p> <p>Recent meadow and tree planting has increased the diversity of wildlife habitats.</p> <p>The park is special to long term residents who campaigned to save it in 1989.</p>

Is the retention of this open space consistent with the Borough Local Plan policies for sustainable development?	Yes
Does the land have planning permission?	No
Does this land already benefit from protection such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?	Listed on RBWM website as a public park and listed as "local open space" in the RBWM Supplementary Planning Guidance document "Public Open Space Provision" 2003.
Is it capable of enduring beyond the plan period?	Yes
Is this space in close proximity to the community it serves?	Yes
Is this space an extensive tract of land?	No
Is the space located within a new development and, if so, how is it demonstrably special or of local significance.	No
Who is the landowner? Have they been consulted and , if so, what are their views on designation?	RBWM
How will the green space be managed in the future?	RBWM

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: WESTMEAD AGS

Ref: 38

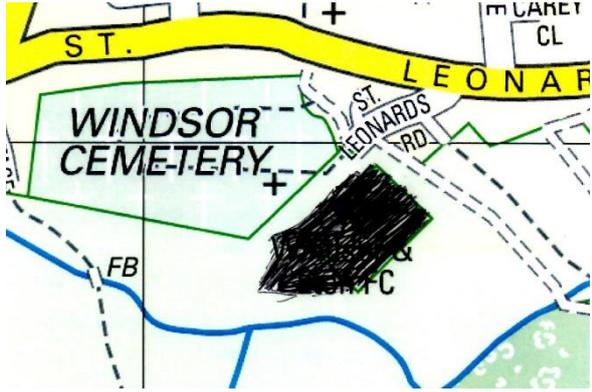
<p><u>Location:</u></p>	
<p>Why is this space demonstrably special?</p>	<p><u>Natural habitats and wildlife:</u> The hedgerow and the distinctive row of mature oak trees provides support for local biodiversity and is an important “green link”. A number of species of small birds, insects and other creatures depend on this to provide a vital conduit within the local green infrastructure which connect a range of natural habitats from St. Leonard’s Hill to the river.</p>
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	<p>Yes</p>
<p>Does this land have planning permission?</p>	<p>No</p>
<p>Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?</p>	<p>No</p>
<p>Is it capable of enduring beyond the plan period?</p>	<p>Yes</p>
<p>Is this space in close proximity to the community it serves?</p>	<p>Yes It serves as a visual and informal recreation amenity space for the houses and flats on both sides of Westmead (“village green”).</p>
<p>Is this space an extensive tract of land?</p>	<p>No</p>

Is the space located within a new development and if so, how is it demonstrably special or of local significance?	See comments above
Who is the landowner? Have they been consulted and, if so, what are their views on designation?	RBWM
How will the green space be managed in the future?	RBWM management programme

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: WINDSOR FC, STAG MEADOW

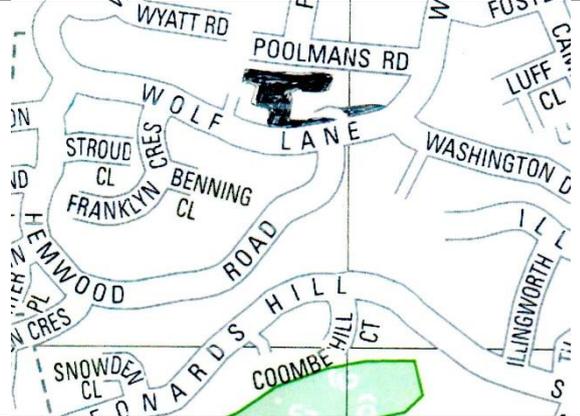
Ref: 39

<p><u>Location:</u></p>	
<p>Why is this space demonstrably special?</p>	<p>1) Historic importance</p> <p>2) <u>Natural habitats and wildlife:</u> The hedgerow provides support for local biodiversity and is an important “green link”. A number of species of small birds, insects and other creatures depend on this to provide a vital conduit within the local green infrastructure which connect a range of natural habitats from St. Leonard’s Hill to the river.</p>
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	<p>Yes</p>
<p>Does this land have planning permission?</p>	<p>No</p>
<p>Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?</p>	<p>(Not sure)</p>
<p>Is it capable of enduring beyond the plan period?</p>	<p>Yes</p>
<p>Is this space in close proximity to the community it serves?</p>	<p>Yes</p>
<p>Is this space an extensive tract of land?</p>	<p>No</p>
<p>Is the space located within a new development and if so, how is it demonstrably special or of local significance?</p>	<p>See comments above</p>
<p>Who is the landowner? Have they been consulted and, if so, what are their views on designation?</p>	<p>(Not sure)</p>
<p>How will the green space be managed in the future?</p>	<p>See above</p>

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: WOLF LANE AMENITY GREEN SPACE

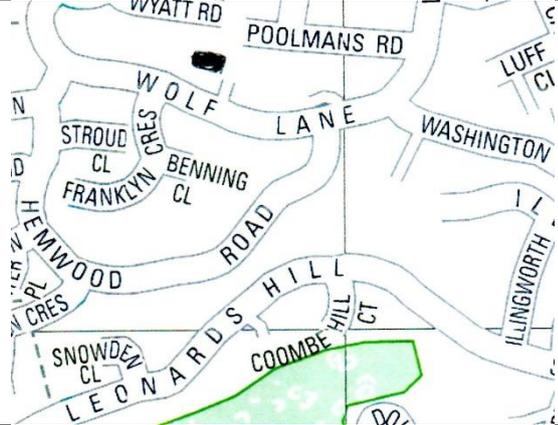
Ref: 40

<p><u>Location:</u></p> <p>Located between Poolman Road and Wolf Lane. It is an irregular shaped Space bordered by houses in Wolf Lane and Poolmans Road.</p>	
<p>Why is this space demonstrably special?</p>	<p>This Amenity Green Space provides a green vista for both residents and passers –by. It provides a “green” approach for users of the Wolf lane Play Area and Spinney if approaching from the South. It is in keeping with the style of the Estate in that front gardens are open. It has a footpath running through it linking the south-east corner of Wolf Lane to the Wolf Lane Play Area and Spinney and from there access to Wyatt Road/Poolmans Road and Castle Farm Spinney. It contains shrubs but no established trees.</p>
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	<p>Yes</p>
<p>Does this land have planning permission?</p>	<p>No</p>
<p>Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?</p>	<p>Yes, The RBWM Open Space Audi Appendix F</p> <ul style="list-style-type: none"> • 107 Wolf Lane AGS
<p>Is it capable of enduring beyond the plan period?</p>	<p>Yes</p>
<p>Is this space in close proximity to the community it serves?</p>	<p>Yes it is surrounded by houses</p>
<p>Is this space an extensive tract of land?</p>	<p>No</p>
<p>Is the space located within a new development and if so, how is it demonstrably special or of local significance?</p>	<p>No</p>
<p>Who is the landowner? Have they been consulted and, if so, what are their views on designation?</p>	<p>RBWM</p>
<p>How will the green space be managed in the future?</p>	<p>RBWM</p>

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: WOLF LANE PLAY AREA

Ref: 41

<p><u>Location:</u> Sits between Wyatt Road and Wolf Lane, but not easily visible from either. Accessed by walking from either Wyatt Road, Poolmans Road or Wolf Lane. Sits adjacent to Wolf Lane Spinney</p>	
<p>Why is this space demonstrably special?</p>	<p>It is a secure Play Area for young children. It is grassed with wood chips under the “riskier” equipment. It contains play equipment, benches, and waste bins. Whilst overhung by trees from Wolf Lane Spinney it contains no trees or shrubs. It is bordered by brick walls on two sides, and wire fences on the other two sides.</p>
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	<p>Yes</p>
<p>Does this land have planning permission?</p>	<p>No</p>
<p>Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?</p>	<p>Yes, The RBWM Open Space Audit, appendix F</p> <ul style="list-style-type: none"> • 106 Wolf Lane Play Area Typology 5
<p>Is it capable of enduring beyond the plan period?</p>	<p>Yes</p>
<p>Is this space in close proximity to the community it serves?</p>	<p>Yes, it can be accessed by foot from the surrounding houses and walking through Wolf Lane Spinney to reach it adds to the positive experience for children</p>
<p>Is this space an extensive tract of land?</p>	<p>No</p>
<p>Is the space located within a new development and if so, how is it demonstrably special or of local significance?</p>	<p>No</p>
<p>Who is the landowner? Have they been consulted and, if so, what are their views on designation?</p>	<p>RBWM</p>
<p>How will the green space be managed in the future?</p>	<p>RBWM</p>

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: WOLF LANE SPINNEY

Ref: 42

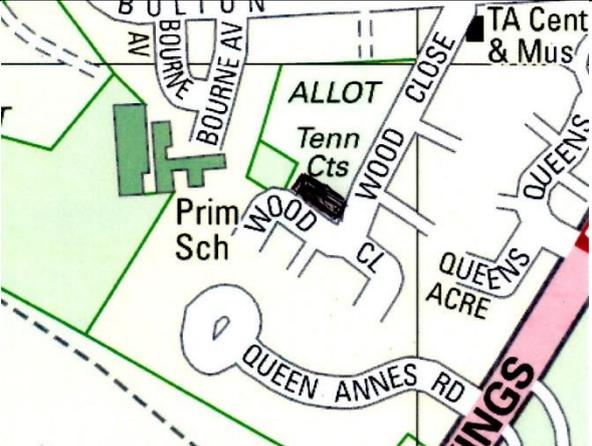
<p><u>Location:</u> This runs West to East behind the back gardens of houses in Wyatt Road and Wolf Lane</p>	
<p>Why is this space demonstrably special?</p>	<p>It is a natural green space with valued habitat and wildlife. It contains mature and established trees and shrubs. It is accessed from the West by a footpath from Wolf Lane (opposite the St Leonards Hill Bridlepath). There are two footpaths from White Horse Road and Wyatt Road providing access from the North. It can be accessed from the East from Wolf Lane, Wyatt Road and Poolmans Road. It sits adjacent to Wolf Lane Play Area. It is only several metres away from Castle Farm Spinney (to the North), thus providing a “green corridor” of Spinneys.</p>
<p>Is the retention of this open space consistent with Borough Local Plan policies for sustainable development?</p>	<p>Yes</p>
<p>Does this land have planning permission?</p>	<p>No</p>
<p>Does this land already benefit from protection, such as Green Belt, National Park, AONB, SSSI, Scheduled Monument or Conservation Area?</p>	<p>It is NOT listed on the RBWM OSA Appendix F, whilst Castle Spinney is listed. However at both ends are RBWM signs so it is clearly designated.</p>
<p>Is it capable of enduring beyond the plan period?</p>	<p>Yes</p>
<p>Is this space in close proximity to the community it serves?</p>	<p>Yes, it is surrounded by houses and adjacent to Wolf Lane Play Area. Residents in Wyatt Road can access it directly from their back gardens.</p>
<p>Is this space an extensive tract of land?</p>	<p>No</p>
<p>Is the space located within a new development and if so, how is it demonstrably special or of local significance?</p>	<p>No</p>

Who is the landowner? Have they been consulted and, if so, what are their views on designation?	RBWM
How will the green space be managed in the future?	RBWM

WNP LOCAL GREEN SPACE DESIGNATIONS

Title: WOOD CLOSE KICK ABOUT AREA

Ref: 43

<p>DESCRIPTION</p> <p>WOOD CLOSE "Kick-about" Area at the rear entrance to Trevelyan School.</p>	
<p>Why the space is of particular importance?</p>	<p>It provides a fenced space for ball play, particularly suitable for teens, in an area with few such public facilities.</p> <p>It is a grassed area surrounded by high fences and shrubs, with a gate for access, so is secure for children playing there.</p>
<p>Consistent with Local Plan policies for sustainable development</p>	<p>Yes</p>
<p>Does the land have planning permission?</p>	<p>NO</p>
<p>Does the land already benefit from protections?</p>	<p>Yes. It is Local Area for Play. LEAP.</p>
<p>Capable of enduring beyond the plan period?</p>	<p>YES</p>
<p>Is space in close proximity to the community it serves?</p>	<p>YES. It is surrounded by housing on Wood Close and adjacent to the rear entrance to Trevelyan School.</p>
<p>Is the space an extensive tract of land?</p>	<p>No.</p>
<p>Is the space located within a new development and if so how is it demonstrably special or of local significance?</p>	<p>No.</p>
<p>Have the landowners been consulted and if so what were their views on designation?</p>	<p>RBWM. No.</p>
<p>How will the green space be managed in the future?</p>	<p>As existing.</p>

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APPENDIX 8

NON-DESIGNATED HERITAGE ASSETS (NDHA)

Pre-Submission Consultation

This list has been compiled by the Windsor and Eton Society with the assistance of conservation officers from the Royal Borough of Windsor and Maidenhead and members of the general public.

Each building or structure included herein will now be assessed by a Panel comprising RBWM Councillors, a local architect, an independent expert, and Members of the Windsor and Eton Society, against criteria provided by RBWM officers. The Panel will decide which buildings and structures should be put forward to RBWM to form an Approved List .

Developers will be expected to explain the effect of any proposed development on a NDHA or its setting and to justify any adverse impact.

Assets listed in the following table in red were proposed as “important non-listed buildings” via a formal Conservation Area Assessment, prior to work starting on this NDHA list.

Location	No	Photograph	Description/justification
Alexandra Road 14 - 28	1/16		Highly decorative terracotta, classical detailing on modest terraced dwellings is particularly striking. These examples, built in the 1880s, survive in tact with one having been unfortunately painted white. They represent the high quality approach to building by local house builders that reflects the desire of each to stand out and provide the most attractive dwellings they could.
Alma Road Camperdown House	2/16		Late 19th Century survivor of St Mark's School built as a dormitory during 1870's. Four storey large detached property of London Stock brick with red clay brick details and gauged brickwork to window heads. Two storey canted stuccoed bay windows to and decorative sash windows throughout of four over four, now flats
Alma Road Camperdown House	3/16		George V 1910-1936. Post box inserted in brickwall
Alma Road 1	4/16		Cast iron post set into the pavement at the corner of no 1 Alma Road and reading: "Great Western Railway Boundary 1920"

<p>Alma Road Kwik Fit 22A</p>	<p>5/16</p>		<p>Art Déco brick building rare in central Windsor. on prominent corner site</p>
<p>Alma Road 44</p>	<p>6/16</p>		<p>detached three storey red clay brick property featuring stone window dressings, two storey canted bay window and dormer window. Victorian gothic revival in style</p>
<p>Alma Road 53/55</p>	<p>7/16</p>		<p>Late 19th century semi-detached three storey property. Square bay windows over ground and first floor to both along with four small dormers protruding the roof line. Decorative glazing and balconies to both properties and decorative clay tile roof. Number 55 is stuccoed to the front elevation while number 53 is red clay brick.</p>
<p>Alma Road 56 / 58</p>	<p>8/16</p>		<p>Mid 19th century pair of semi-detached two bay, two storey properties with basements. Highly decorative with stucco details against London Stock brick construction with shallow pitch slate roof. Details include pierced Juliette balconies, partite sashes to ground floor, arched sashes to returns, decorative cornice and corbelled porch head. Original boundary wall survives, London Stock brick and pierced stone</p>

<p>Alma Road – Hunters Mews</p>	<p>9/16</p>		<p>Now a terrace of private residences. Said to have been at least partly built about 1855 as the original Holy Trinity Primary School and then St Ann's School when Holy Trinity moved to its present site in Vansittart Road. (information from Windsor Royal Forum).....The end house in the photograph retains period features the rest of the terrace does not and may be partly modern.. Behind the modern glass porch is an arched stone doorway similar to but higher than the one to the left.</p>
<p>Arthur Road The Duke of Connaught 165</p>	<p>10/16</p>		<p>On the corner of Arthur Road and Duke Street. One of the few remaining examples of the areas Victorian pubs still in use.</p> <p>Mid 19th Century. 2 storeys, brick built, terraced, corner building with angled entrance and gable feature above. Pilasters to ground floor 4 to each elevation. One door blocked off but door step remains. Timber sash windows at first floor</p>
<p>Browns Restaurant, Barry Avenue</p>	<p>82/16</p>		<p>Early 20th century property within prominent location. Significantly altered and extended. Series of pitch roofs with red tile. Red brick</p>
<p>Barry Avenue</p>	<p>11/16</p>		<p>4 Terraces of Art Deco houses much altered but a few still with curved Crittal type windows.</p>

<p>Bexley Street The Bexley Arms</p>	<p>12/16</p>		<p>Pretty nineteenth century pub with much needed greenery.</p> <p>Mid 19th Century. 2 storey end of terrace. Pitched slate roof behind parapet with frieze on three sides. Yellow brick. Projecting ground floor to main entrance and steps up to doorway. Garden to side and rear.</p>
<p>Bolton Avenue Coach House</p>	<p>13/16</p>		<p>Built in 1897 this was the original stables to Essex Lodge, and the ground floor still has features from those days-for example flag stone floors, and front yard.</p> <p>It was once the home of Miss Letbe who was Matron of Princess Christian Hospital, her sister and mother .</p> <p>The importance of Essex Lodge and the Coach House is not just its architectural merit but that it provides a "gateway" along with Kings House opposite.</p>
<p>Bolton Avenue Essex Lodge 1</p>	<p>14/16</p>		<p>Proposal for demolition and re-development was vigorously resisted by residents campaign so clearly well regarded locally. Striking Edwardian building on prominent gateway site.</p>
<p>Bolton Avenue Audley Mead 20</p>	<p>15/16</p>		

<p>Bolton Avenue Burnell House 23</p>	<p>16/16</p>		
<p>Bolton Crescent 36</p>	<p>17/16</p>		
<p>Brook Street 2</p>	<p>18/16</p>		<p>1850 or earlier</p>
<p>1 Church Lane</p>	<p>83/16</p>		<p>construction with decorative features such as timber balconies and large bay windows</p>
<p>1 - 3 Church Street</p>	<p>84/16</p>		<p>19th century 3-storey painted yellow brick building. Altered shop front beneath two storey</p>

<p>Clarence Road</p> <p>Parade of shops</p>	<p>19/16</p>		<p>Clewer Old Police Station now shops. Cells said to be still there at the rear.</p>
<p>Clarence Road</p> <p>The Residence</p>	<p>20/16</p>		<p>Originally a series of villas called Clarence Villas, subsequently joined to become the Princess Christian Hospital. Now converted to flats called The Residence. Three storey with basement, stuccoed entirely with ruling on ground floor. Later addition of two storey entrance bay with semi-circular pediment and rusticated voussoirs within the arch and exaggerated key stone, first floor additions include a Serulian window. Moulded corbels and window heads and string course. Tripartite sashes throughout. Similar in style to 22 Clarence Road and 1 Dorset Road</p>
<p>Clarence Road</p> <p>(also 1 Dorset Road)</p> <p>22</p>	<p>21/16</p>		<p>Joined three storey properties dating from mid 19th century. Stuccoed (ground floor ruled) Italianate styled suburban villas with projecting eaves, pierced stone detailing and corbelled window heads. Canted bay window to ground floor of number 22 and two square bay windows to number 1 Tripartite sashes remain throughout</p>
<p>Clarence Road</p> <p>26 / 28</p>	<p>22/16</p>		<p>An imposing, semi-detached, 4 storey building in an Italianate style, considerable decoration lavished on the elevations with a decorative iron balustrade at first floor level, key stone detailing above windows and decorative modillions and cornice mouldings at eaves height. Vermiculated gate posts and front wall bound the site along Clarence Road.</p>

<p>Clarence Road</p> <p>34</p>	<p>23/16</p>		<p>Late 19th century former Methodist Manse previously known as Epworth Villa; the house is styled after the Windsor Methodist Church which is adjacent . Three storey, two bay red clay brick property with carved detailing to the gable end. Ground floor stuccoed canted bay window and porch modelled after the entrance to the church with lancet arch</p>
<p>Clewer Fields</p>	<p>24/16</p>		<p>Cast iron Royal Borough of New Windsor bylaw notice attached to a wall at the Alma Road end of Clewer Fields.</p>
<p>Royal Oak,</p> <p>Datchet Road</p>	<p>85/16</p>		<p>1 Church Lane canted bay with applied decorative timber and parapet</p>
<p>Dedworth Road</p> <p>Clewer New Town Post Office</p>	<p>25/16</p>		<p>Former Post Office now a barber shop built in 1886</p>

<p>Dedworth Road ? Clewer Memorial Park</p>	<p>26/16</p>		<p>The lychgate came from the Church of the Saviour which was situated in nearby Bier Lane. This is all that remains of the church as this has since been demolished. I</p>
<p>Dedworth Road All Saints Church</p>	<p>27/16</p>		<p>Dedworth was given its own church in 1863 - All Saints' - erected by GF Bodley for the Tudor family. It was an arts and crafts brick structure with a small bellcote in the style of a 14th century building. It was demolished after suffering from subsidence and replaced by the current modern building with open tower (now with a rather interesting sculpture) in 1971. Fortunately, the glorious Morris windows were saved and the new church sports stained-glass by Morris himself, Burne-Jones, Rossetti and Ford Madox Brown!</p>
<p>Dedworth Road The Black Horse</p>	<p>28/16</p>		<p>Original part is early 19th century two storey detached cottage with pitched slate roof and chimneys at either end. Later ground floor extensions to front and side.</p>

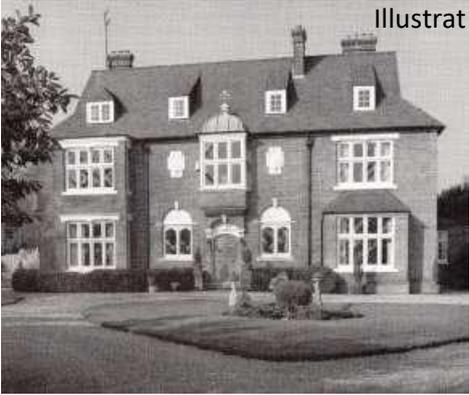
<p>Dedworth Road</p> <p>Comely Cottage About 230</p>	<p>29/16</p>		<p>A little bit of old Dedworth worth preserving as a survival.</p>
<p>Dedworth Road</p> <p>St Mary's Cottages</p>	<p>30/16</p>		<p>As above</p>
<p>Dedworth Road</p> <p>Entrance to Palmers Removals</p>	<p>31/16</p>		<p>Attractive small one and a half storey apparently timber framed building with central gabled brick porch flanked by rounded bay windows. Two dormers in the roof. Brick infill some of it haphazard, some herringbone. Red clay tile roof. Tall brick chimneys.</p> <p>Sadly this building has planning permission for demolition.</p>
<p>Dorset Road</p> <p>Montessori School</p>	<p>32/16</p>		<p>Late 19th century hall in the grounds of the Roman Catholic Church. Originally St Edwards Primary School. Single storey, red clay brick, gothic in nature with ledged lights and parapet crenellations</p>

<p>Dorset Road</p> <p>3/5 and 7/9 below</p>	<p>33/16</p>		<p>Series of four mid 19th century properties of three stories with basements. Numbers 3 and 5 entirely stuccoed (ground floor stucco ruled) and numbers 7 and 9 stuccoed on ground floor. Numbers 3 and 5 retain historic windows including tripartite sashes to ground floor. Pierced stone ground floor Juliette balconies to number 3 and 5. Number 5, historically owned by Mrs Mary Hull, frequently visited by Queen Victoria</p>
<p>Dorset Road</p> <p>34/16</p>	<p>86/16</p>		<p>cream stuccoed front elevation. Dual pitch slate roof. Moulded cornice, porch/door architrave and square bay window heads. Late 19th century windows present as plain glazed sashes. Canted bay window addition to the south elevation at ground floor level</p>
<p>Dorset Road</p> <p>35/16</p>	<p>87/16</p>		<p>Mid 19th century detached two storey, three bay property in London Stock brick</p>
<p>Frances Road</p> <p>37 / 39</p>	<p>36/16</p>		<p>Pair similar to 43 etc but plainer.</p>

<p>Frances Road</p> <p>Fairlight 41</p>	<p>37/16</p>		<p>Built in 1885. "The Buildings of Windsor" Richard Morriss and Ken Hoverd, Alan Sutton, Stroud 1994 describes it like this -</p> <p>"Built in brick and detailed in stone, its architectural motifs are mixed and mysterious but the house certainly has character."</p> <p>It has recently had a sensitive external renovation.</p>
<p>Frances Road</p> <p>43 - 49</p>	<p>38/16</p>		<p>A striking group of four three storey villas in yellow stock brick with red brick detailing and red and blue brick string courses. Front facing gables with chequerboard pattern and black painted fancy bargeboards and extant finials. Arched windows and bay to ground floor. No 47 with original tiled pathway to front door.</p>
<p>Frances Road</p> <p>52 / 54</p>	<p>39/16</p>		
<p>Frances Road</p> <p>59 - 65</p>	<p>40/16</p>		<p>As 43 to 49 above. 59/61 have lost their finials and 59 is unfortunately painted white.</p>

<p>Grove Road</p> <p>The Prince Arthur 29</p>	<p>41/16</p>		<p>Built circa 1880s, a corner building, finished with green glazed tiles and faience to the ground floor storey facing the street and decorative brick string courses cutting through windows and eaves. A high quality, attractive example of a traditional Victorian pub built to serve the local community which included soldiers and families from the nearby garrison.</p>
<p>Grove Road</p>	<p>88/16</p>		<p>Victorian post box in wall adjacent to Prince Arthur Public House</p>
<p>27- 28 High Street</p>	<p>89/16</p>		<p>19th century, 3-storey red brick building. 6 sliding sash timber windows to first and second</p>
<p>High Street 29/30 Barclays Bank</p>	<p>42/16</p>		<p>Classically styled, late 19th century 3-storey and attic ashlar stone corner building. Stone mullion and transom square headed windows with vertical sliding sashes. String course between ground and first storey, deep modillion cornice above second. Parapet with triangular and segmental pediments above. Ground storey (long used as a bank) has rusticated plinth and square ashlar pilasters</p>

<p>Kings Road Queensmead Brigidine School</p>	<p>43/16</p>	 <p><small>© Lee Sanders/INS News Agency</small></p>	<p>The core of the school is the Victorian mansion Queensmead built of local red brick in the Elizabethan Style. “the elegant structure which houses the Brigidine School was designed by W. F. Lyon, F.R.I.B.A., for Henri C. J. Henry of the Windsor Tapestry Manufactory who leased the land from the Crown Commissioners in 1880. High at one end of the hall above the main staircase a pair of windows includes the arms of the Royal Borough of New Windsor in stained glass. A pair of front gallery windows each contain a peacock in full plumage facing in opposite directions, reputed to record the German Crown Prince’s opinion of the Prince of Wales at that time. These Windows were made by the short lived Windsor Stained Glass Works at Old Windsor (1878 – 1890)</p>
<p>Kings Road 2</p>	<p>44/16</p>		<p>An important corner building that displays interesting composition and tile detailing creating considerable interest on this corner plot.</p>
<p>Kings Road Gower Lodge 40</p>	<p>45/16</p>		<p>- This house seems to find its way into many descriptions of Windsor Architecture. An archetypical Edwardian villa with much attractive detailing.</p>

<p>Kings Road</p> <p>56</p>	<p>46/16</p>		<p>Nicely proportioned arts and crafts villa with wonderful fancy barge-boarding.</p> <p>This house is described in “Windsor in Watercolour” by Jeff Sanderson as being built in 1912 to a design by architect Stephen Salter (1862 – 1956). Son of a local master builder also Stephen. The firm later became Salters Steamers. The building is said to show the influence of Charles Voysey on Stephen eg – asymmetrical design, prominent cross-gable, green tiles, sloping buttress, mullioned and porthole windows and the use of the heart motif on some internal features. The house was originally called Amerden</p>
<p>Kings Road</p> <p>The Windsor Castle</p>	<p>47/16</p>		<p>Mid 19th Century. 2 storeys, painted brickwork under slate tiled roof. Unusual sash windows to first floor.</p>
<p>Kings Road</p> <p>Kings Walden</p>	<p>48/16</p>		<p>Villa of 1901 opposite the Great Park. ed in “Buildings of Windsor”</p>

<p>Maidenhead Road 2/4</p>	<p>49/16</p>		<p>A quirky pair of late Victorian semis on a prominent corner site on one of the main access routes to the historic core of the town. The “eyebrows” above the first floor windows always raise a smile. London Stock brick with red clay brick window surrounds corner detailing and decorative panels.</p>
<p>Market Street 4 The Carpenters Arms</p>	<p>50/16</p>		<p>Late 19th century 2-storey public house with interesting detail. 3 bays with projecting central bow window between coupled pilasters on console brackets. three canted bay windows to first storey with deep modillion cornice above. Cast iron ogee guttering leading either side to decorative hoppers and square downpipes</p>
<p>7 Market Street</p>	<p>90/16</p>		<p>Early 19th century 2-storey building with roughcast render. Altered shopfront with square canopy over door. Its front elevation and windows appear the same as that of the adjacent refronted 16th century pub (Three Tuns).</p>

<p>Mellor Walk Leworth Place</p>	<p>91/16</p>		<p>19th century 2-storey yellow brick building with recent rear extension. Timber sash windows, slate roof and central corbelled projecting chimney in centre of first floor front elevation. Former chapel.</p>
<p>Mill Lane The Swan</p>	<p>51/16</p>		<p>Nineteenth Century pub and yard. The Swan – the current building dates from the 18th Century – provided ale and food and simple accommodation, together with a coaching service, with new horses for travellers. The stables still stand at the back of the pub, while a tunnel from the pub yard to the church is still believed to be intact, although the entrance was filled in in 1990. Until the 19th century, the inn was used as the local coroner’s court, with a brisk trade in bodies from the river. The mortuary was at the rear of the inn, and the landlord, Charlie, was a part-time mortician.</p>
<p>Mill Lane</p>	<p>52/16</p>		<p>Estate workers cottages dating from 1869 (date taken from Coat of Arms on the wall of the first cottage. The next has a plaque reading “ Sir Daniel Gooch Bart Neo Gothic in style.</p>

<p>Osborne Mews Mews Blocks</p>	<p>53/16</p>		<p>Many of the large villas along Osborne Road are listed at grade II on the National Heritage List for England however an important part of their original design and function were the mews blocks to the north. Three of these blocks remain along Osborne Mews and are largely intact, retaining classical column detailing and arched openings serving carriage storage and stables within. Built between the late 1860s and 1880s, they represent an important, rare, surviving example of a mews building group that illustrates the modes of transport serving wealthy families in Windsor that were design and constructed to serve the large villas along Osborne Road.</p>
<p>Osborne Road 21/23</p>	<p>54/16</p>		<p>These grand villas on the South side of Osborne Road contribute greatly to a sense of opulence and spaciousness along this stretch of the road.</p>
<p>Osborne Road Lockerbie and ? 25/27</p>	<p>55/16</p>		<p>Typical late Victorian houses of wealthy businessmen or courtiers. The design is reminiscent of a French Chateau. These grand villas on the South side of Osborne Road contribute greatly to a sense of opulence and spaciousness along this stretch of the road.</p>
<p>Osborne Road 31</p>	<p>56/16</p>		<p>These grand villas on the South side of Osborne Road contribute greatly to a sense of opulence and spaciousness along this stretch of the road.</p>

<p>Osborne Road 33/35</p>	<p>57/16</p>		<p>These grand villas on the South side of Osborne Road contribute greatly to a sense of opulence and spaciousness along this stretch of the road.</p>
<p>Oxford Road Former Elephant and Castle Pub 183</p>	<p>58/16</p>		<p>Bylaw notice attached to wall</p>
<p>Oxford Road Former Elephant and Castle Pub 183</p>	<p>59/16</p>		<p>private house ex Courage Pub 19th Century.</p> <p>There is a photograph of the pub in the 1920s on the Windsor Royal Forum</p> <p>The pub is in Marshalls 1898 Windsor Directory but probably predates that.</p>
<p>Oxford Road Former Perseverance Inn 161</p>	<p>60/16</p>		<p>private flatted conversion of former pub closed in the 1960s The pub is listed in the 1881 census.</p>

<p>Stables/outbuildings to the rear of 4 and 5 Park Street</p>	<p>92/16</p>		<p>1770's. Constructed as part of the development of 4,5 and 6 Park Street. Traditionally stabling and coaching facilities in connection with the Black Horse Pub. Now a rare survival of this type of 18th century back building.</p>
<p>25 - 28 Park Street</p>	<p>93/16</p>		<p>20th century, 2-storey infill row in neo Georgian style. Timber vertical sliding sash windows with rubbed brick segmental arches. Paired door cases with rectangular fanlights and flat hood on timber brackets. Clay tiled roof with 4 hipped dormers and timber casement windows.</p>
<p>Peascod Street Crosses Corner</p>	<p>61/16</p>		
<p>Peascod Street Molton Brown 3</p>	<p>62/16</p>		<p>The Society is very impressed with the elegance of this simple building which needs ensuring that it is maintained and its link with the Burton tailoring chain's architectural styling is retained</p> <p>Early 20th century, 2 storey red brick building with first storey oriel window with leaded lights under deep eaves. Elegant curved glazed ground floor shop entrance.</p>

<p>Peascod Street 8/9</p>	<p>64/16</p>		<p>19th century, red brick 4-storey buildings with modern shop front. No. 8 has first storey canted bay window beneath single windows with margin-panes and segmental arches to second and third stories. All windows are sliding sashes. No. 9 has a 2 storey segmental bay with single window to third storey. All windows are casements.</p>
<p>10 Peascod Street</p>	<p>94/16</p>		<p>Early 20th century, 4-storey building of white render and black decorative timber framing. Central canted first storey bay beneath larger 2 storey square bay under a gabled clay tile roof. Traditional shop front at ground floor level.</p>
<p>11- 12 Peascod</p>	<p>95/16</p>		<p>19th century, 3-stories plus attic red brick buildings with altered shop fronts. First and second stories have ornate sliding sash Street windows of 3 lights divided by decorative iron mullions. Decorative flat hood moulds and terracotta panels. Single large central dormer</p>

<p>13 - 14 Peascod Street</p>	<p>96/16</p>		<p>19th century, 3-storey yellow brick building with decorative red brick horizontal and arch details. Classical style cornice and parapet, moulded string course between first and second storey. First storey windows are engaged pairs with pointed two-centred heads and mouldings springing from ornately carved stone impost blocks. Central carved 1886 date stone.</p>
<p>23 and 24 Peascod Street</p>	<p>97/16</p>		<p>Plain, early 19th century symmetrical pair of 3-storey red brick buildings. Each has a modern shop front with 3 sliding sash windows to first and second storey. Flat arches above windows and first storey windows have key stones. Brick parapet above broad rendered string course.</p>
<p>29 and 30 Peascod Street</p>	<p>98/16</p>		<p>Early 20th century, 4-storey rendered building of 3 bays with projecting central bay. Modern shop fronts. First storey with two single casement windows and horizontal banded decoration. Three sliding sash windows to second storey with segmental arch to central window. Small third storey windows have semicircular heads that project above the parapet. String course missing from right window.</p>

<p>31 Peascod Street</p>	<p>99/16</p>		<p>Narrow early 20th century, 4-storey rendered building of similar style to 29 and 30 Peascod Street. Modern shop front. First storey with single sliding sash window and horizontal banded decoration. Sliding sash window to second storey with deep cornice above. Small third storey window has semicircular head and string course that project above the parapet.</p>
<p>Peascod Street 34</p>	<p>63/16</p>		<p>Narrow three storey building with decorative terracotta name plate stating 1886. Brick construction with shopfront at ground floor level. Mansard slate roof with decorative projecting gable. Dual arched window to first floor level.</p>
<p>45 Peascod Street</p>	<p>100/16</p>		<p>Interesting, small, early 19th century 2-storey red brick building. Entrance door to right has stone dressing. Original shop window surround of rusticated stone and red brick with segmental arch, key stone and string course. Ornate sliding sash window above has a central light with margin-panes, each with arched glazing bars and small square panes above. Moulded brick course and parapet beneath clay tiled roof.</p>
<p>Peascod Street 46</p>	<p>65/16</p>		<p>Imposing 19th century 4-storey red brick building with stepped, shaped gable. Sliding sash windows to third and fourth storeys single fourth storey window has flat arch, the two third storey windows are joined by a flat moulded decorative brick head and the three second storey (modern) windows have segmental arches with keystones. Modern shop front.</p>

<p>47 - 50 Peascod Street</p>	<p>010/1 6</p>		<p>Imposing 3-storey dark red brick building with 1907 date stone. First and second floors each have 8 timber sliding sash windows with bright red brick segmental arches arranged around central narrow 3 storey bay. Central bay has first storey oriel window and is enclosed by coupled, bright red pilasters. Distinctive row of decorative iron lanterns to first storey. Modern shop front.</p>
<p>51 Peascod Street</p>	<p>102/1 6</p>		<p>Symmetrical early 20th century, 2-storey red brick building. Possibly once two properties, with four central sliding sash windows with flat skewed arches between left and right hand doorways, each with a flat hood on timber brackets. Two groups of 3 windows to first storey beneath deep cavetto moulded cornice and steep clay tile roof.</p>
<p>55 Peascod Street</p>	<p>103/1 6</p>		<p>Rendered, late 19th century possible refronting of earlier 3-storey building. Modern shop front beneath two plain sliding sash windows with decorative lead covered hoods on brackets. Parapet wall hides steeply pitched roof behind.</p>
<p>57 - 59 Peascod Street</p>	<p>104/1 6</p>		<p>19th century, 2-storey plus attic pair of buildings of brown brick. Modern shop front. Two groups of 3 sliding sash windows to first storey. Central of right hand group has a grand applied classical surround with open segmental pediment (a feature that is missing from the left hand group).</p>

<p>65 - 67 Peascod Street</p>	<p>105/1 6</p>		<p>Two 19th century, 3-storey red brick buildings with matching glazed header decoration. Left hand has brick gable end and first storey square timber bay with decorative clay tile hood. Modern shop fronts</p>
<p>74-76 Peascod Street</p>	<p>106/1 6</p>		<p>Distinctive 3 storey 1920's Art Deco building, now subdivided. Ashlar-style masonry and three, 2-storey window openings separated by cast iron panels with thistle decoration. Narrow windows to left. Modern replacement 'cristal-style' window frames and modern shop front</p>
<p>77 Peascod Street</p>	<p>107/1 6</p>		<p>19th century, 3 storey red brick building with modern shop front. Brick segmental window arches and 2 moulded brick string courses between first and second storeys. 3 sliding sash windows to first and 2 to second storey all set between brick pilasters beneath a moulded brick cornice and parapet.</p>

<p>91 Peascod Street</p>	<p>108/1 6</p>		<p>19th century, 3-storey yellow brick corner building with distinctive painted stone windows and bold rendered parapet. First storey windows have semicircular heads springing from richly decorated capitals, some are coupled. Second storey windows have mainly flat arches beneath deep cornices. Moulded string course between first and second storeys. Modern shop front.</p>
<p>96 Peascod Street</p>	<p>109/1 6</p>		<p>Imposing 19th century 3-storey red brick building with stepped, shaped gable with moulded coping. Timber casement between 2 narrow sliding sash windows to third storey. Distinctive range of timber casement windows to first storey set within full width timber panel is possibly a later insertion. Square cast iron hoppers and rainwater pipes to either side. Modern shop front. Narrow,</p>
<p>112 Peascod Street</p>	<p>110/1 6</p>		<p>early 20th century, 3-storey red brick building. Rectangular panel set within corbelled brick parapet, crittal-style windows to first and second storeys. Modern shop front.</p>

<p>Public Conveniences River Street</p>	<p>111/1 6</p>		<p>1930, 2-storey building of red brick with burnt headers. Hipped roof with clay tiles and deeply overhanging eaves. Tall sliding sash windows, decorative ironwork to signs, clock and first storey balcony to south east. External stairs to first storey. Purpose built as public conveniences. Square cast iron rainwater pipes.</p>
<p>Springfield Road The Alma</p>	<p>66/16</p>		<p>Late 19th/early 20th century. Detached two storey building. Plain clay roof tiles; red brick and green glazed tiles to ground floor, painted pebbledash to first floor. Two gables to Springfield Road and one to Elm Road. Ground floor angled corner. Garden to rear</p>
<p>6-12 Sheet Street, Coburg House and Royal Albert House</p>	<p>112/1 6</p>		<p>Range of 20th century, 3 storey plus attic neo Georgian buildings. 6-12 and Coburg House are yellow brick with some rich detailing (e.g. stone segmental pediments to first storey windows and deep eaves cornice) but with clumsy attic dormers. Royal Albert House is of red brick with simpler, more modern, stone detailing and large stone statue of Prince Albert over left hand entrance bay. 19th century dwelling. Two bay</p>
<p>Church Lodge, St Albans Street</p>	<p>113/1 6</p>		<p>19th century dwelling. Two bay wide of yellow-brown brick construction. Shallow pitched slate roof. Timber sliding sash windows to front elevation. Now somewhat overshadowed by neighbouring building. Demarcated by brick and flint wall.</p>

<p>St Leonards Hill</p> <p>Castle Peep</p>	<p>67/16</p>		<p>A characterful property , Castle Peep is a five bedroom house which is nearly 100 years old,.</p> <p>The property has wood flooring, leaded windows, exposed beams and brickwork, as well as open fireplaces and dark wood doors. The house has three reception rooms including a drawing room with vaulted ceiling and French doors. the dining room has a traditional beamed ceiling.</p>
<p>1-11 St Leonard's Road and 85 - 89 Victoria Street</p>	<p>114/16</p>		<p>Range of 19th century, 3-storey, rendered buildings extending around corner from Victoria Street to St Leonard's Road. Although the shop fronts are largely modern or altered, the buildings are united as a single development by the use of identical first and second storey window mouldings and parapet. Many timber sliding sash windows have been retained.</p>
<p>St Leonards Road</p> <p>Fire Station Arts Centre</p>	<p>68/16</p>		<p>Magistrates Court, Police Station and Fire Station opened 1907 is an architecturally strong building along St Leonard's Road. As was the late Victorian approach to accommodate various associated and related civic functions within one building complex, this building provided space for the local police, the Magistrates courts and the local fire station. Some rococo terracotta detailing adds decorative flourishes to the St Leonard's Rd elevation. The building represents an important civic hub serving the local community of Windsor.</p>

<p>St Leonards Road The Windsor Trooper</p>	<p>69/16</p>		
<p>St Leonards Road Combermere Barracks</p>	<p>70/16</p>		<p>Relocated from London but retains cavalry connection with Barracks.</p>
<p>St Leonards Road 134/6</p>	<p>71/16</p>		<p>Very quirky house next to Combermere Barracks. Fancy tile hung upper storey and gables. Decorative brickwork to tall chimneys. Was this a lodge? Now two houses.</p>
<p>St Leonards Road The Duke of York</p>	<p>72/16</p>		<p>Mid 19th Century. Two storey detached building. Slate roof, painted render. Double bay windows to front elevation with central doorway. Mid 19th century stable/store building to rear. Brick with slate roof.</p>

<p>Off St Leonards Road</p> <p>Plus certain monuments ?</p> <p>Cemetery Chapel and Gatehouse</p>	<p>73/16</p>		<p>Windsor Cemetery also known as "Spital Cemetery" was first opened in 1854. When first opened it was set out as a 'Traditional Cemetery' where full sized memorials could be placed on all graves . The Cemetery has links with Windsor Castle and the two army barracks based in the town with a number of Victoria Cross holders being buried there.</p>
<p>St Leonards Road</p> <p>St Agnes Church Next to 332</p>	<p>74/16</p>		<p>The church stands on St Leonard's Road and was built in yellow brick in 1874. It consists of a nave with a W gallery, a Lady Chapel, added as a S aisle, and a S porch at the W end of the S aisle. In its present use as a Music Centre, the weekly service is held in the Lady Chapel, while the main altar has been removed and replaced by a grand piano. The only Romanesque sculpture here is the 12thc font.</p>
<p>River House 10 Thames Side</p>	<p>115/16</p>		<p>Two adjoining 19th century properties. Both featuring low pitch slate roofs. Brick construction with white render. Both buildings have sliding timber sash frames. Two bay windows to upper floor.</p>
<p>1 Thames Avenue</p>	<p>116/16</p>		<p>Row of early 20th century single storey red brick buildings with four gables of differing size and applied timber decoration facing Thames Avenue. Clay tile roof. Traditional painted timber door openings and timber mullion and transom windows.</p>

<p>36-37 Thames Street</p>	<p>117/1 6</p>		<p>19th century, 3-storey building of red brick and light stone with distinctive brick / terracotta decoration to parapet and window detailing. Deep moulded cornice over three, tall, French windows opening to juliet-style balconies to second storey. The three first storey timber window openings have interesting glazing which each split into 3 large panes beneath 3 windows of smaller panes. Modern shop front with access door to the above accommodation to the right.</p>
<p>39 Thames Street</p>	<p>118/1 6</p>		<p>19th century 4-storey plus attic red brick building with brick parapet and large number of windows set between moulded brick pilasters. 8 plain french windows and Juliet balconies to third and second storeys. 4 flat arched windows to first storey and largely unaltered shop front and accommodation access door to ground storey.</p>
<p>Vansittart Road The Vansittart Arms</p>	<p>75/16</p>		<p>Mid 19th century. 2 storeys. Brick and render under slate roof. Square bay to ground floor on front elevation. 3 chimneys. Garden to side.</p>

<p>Vansittart Road</p> <p>(also Arthur Road and Duke Street)</p> <p>Gardner Cottages</p>	<p>76/16</p>		<p>This unusual square of workers cottages fronting Albert Road, Vansittart Road and the L-shaped Duke Street, and with a large central green, was built in 1870 for Robert Richardson Gardner who owned a large number of cottages in the area and was the town's MP from 1874 – 1890. His arms are in the gables of the larger cottages. He does not sound a very attractive character and it is said (<i>Streets of Windsor and Eton, ed Brigitte Mitchell, Windsor Local History Publications, 2003 page69</i>) that he required his tenants to vote Conservative and evicted them if they did not. Pleasant or not, he is a prominent historical figure in the town. The original architecture of the cottages is already somewhat damaged by painting, rendering and inappropriate replacement of windows and doors.</p>
<p>Vansittart Road</p> <p>St Stephens House</p>	<p>77/16</p>		<p>This complex of office buildings is situated to the north of the listed St Stephen's Church and previously formed the St Stephen's School. An Infant School was opened in 1872, a Boy's school in 1873 and a Girl's School in 1877. Henry Woodyer was probably the architect (<i>Buildings of Windsor</i>) In 1899 , an Intermediate School was started for "the daughters of the smaller trades people who could pay more than two pence per week". (<i>History leaflet on church website - http://www.achurchnearyou.com/documents/2012-03-31_291_1333213341.pdf</i>.)</p>
<p>Vansittart Road</p> <p>Trinity St Stephen First School</p>	<p>78/16</p>		<p>1906 school buildings</p>

<p>Victoria Street Chariott House</p>	<p>119/16</p>		<p>This development won the Brick Design Award in 1985. The citation praised the development's design which echoes features of the adjacent almshouses while not replicating them. The yellow mottled brickwork banded in red complements the older buildings and the hard landscaping in brick and stone with walkways and raised brick planting areas was said to have been very sensitively handled. All in all "a fine contribution has been made to the urban scene and a sense of place established with great skill and imagination"</p> <p>What a pity that the development is now spoiled by lack of maintenance of the planting and circulation areas. (ed)</p>
<p>York Road 6</p>	<p>79/16</p>		<p>Delightful Edwardian Villa</p>
<p>York Road 19</p>	<p>80/16</p>		<p>Another delightful Edwardian Villa with unusually large eight frame casement bay windows.</p>

<p>York Road</p> <p>38</p>	<p>81/16</p>		<p>Prominent landmark villa at the corner of York Road and Green Lane.</p> <p>In February 1920 a reference to the house 'Tokio' (38 York Road) was found in an ISC journal 'Chronicle' which reads "The house 'Tokio' in York Road, which is now the property of the College (ISC) and is to be known in future as the Chaplain's House, is under Mr Healey's charge." This house was the subject of a planning application for demolition in 2003 which was fortunately refused.</p>
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WINDSOR NEIGHBOURHOOD PLAN

APPENDIX 9

GENERAL DESIGN GUIDANCE (SUPPLEMENTARY PLANNING DOCUMENT)

What this guidance document is for

The purpose of this document is to assist anyone thinking about undertaking a development project within the area of the Windsor Neighbourhood Plan. The aim is to encourage new development which is attractive and appropriate in itself but which also blends in comfortably with the wider streetscape and neighbourhood area in which it is situated. The document sets out with examples what local people consider are the important components of good design in this area. More specific local neighbourhood guidance can be found in the documents listed at the end of this guide.

Design Principles

In considering what might be appropriate guidance for the design of new developments in our neighbourhood plan area we have had regard to the following principles. All new development should:

- 1. Aim to blend in and be compatible with, surrounding properties,**
- 2. Achieve greater density skilfully using staggering, articulation, spaces between buildings, setbacks etc. to reduce the apparent bulk of buildings,**
- 3. Pay attention to details, creating attractive entrances, using windows and doors to create depth in the building and echoing important details from surrounding buildings without being over fussy,**
- 4. Consider proportion, so that storey heights, windows, roof features etc. are appropriate to the area,**
- 5. Use good quality materials chosen from the local palette,**
- 6. Incorporate landscaping and greenery, especially to front garden and parking areas.**

An individual building may be attractive and well designed in itself but may not be appropriate to its position or compatible with surrounding buildings. The Windsor Neighbourhood Plan strongly urges all developers to include a clear scaled illustration of how the new development will look in the streetscape as it is often difficult or impossible to judge how a new building will look alongside its neighbours.

Examples

(All examples pictured are from the Neighbourhood Plan area unless stated otherwise. The examples chosen are not necessarily the most exceptional or most interesting, they are common to the area. This table is based on public consultation exercises including a specific design consultation undertaken in January 2016 and on RBWM published Townscape and Conservation Area assessments backed up by our own local area character assessments. We have also benefitted from the advice of a local architect).

Common Building types



sympathetic recent developments

Building types vary from Georgian townhouses in the centre, Victorian and Edwardian terraces and villas in the inner suburbs to a range of mid-20th century and later buildings further from the centre. The Windsor part of the RBWM Townscape Assessment gives a very detailed analysis of building types in the area. Steep gables, pitched roofs, bay windows, articulated front elevations and well-proportioned windows are all common. Good design will take references from the buildings surrounding the site, not just from the Victorian styles found in the inner areas.

Admired features in older buildings (roughly pre 1970)

Modern developments – a generally positive response

Positive features

Walls

Brick buildings predominate in the WNP area. Stone is rarely used, if at all generally for window and door surrounds only.



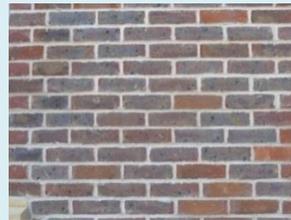
London yellow stock bricks and red clay facing bricks are the most common.



reclaimed bricks



simulated handmade bricks



Using reclaimed old bricks will often be the most appropriate solution for an extension to an existing property.

An alternative especially for new infill developments may be good quality modern bricks designed to have the varied appearance and different colours of handmade bricks.

Whatever bricks are chosen, the golden rule is to think carefully about what will blend in with the surrounding properties. This will be especially true where the whole area is built of the same materials when an infill of contrasting materials could be an eyesore. In areas where there is a variety of wall treatments then the choice for new developments will be wider.

Decorative Wall Treatments



String courses and decorative brick panels



“Tudor” timberwork



Stucco



The composition of building elevations can frequently be improved by the introduction of plinths, cornices and string courses, all very common in Windsor.

Stucco is a common finish, and in some areas painted brickwork is attractive and appropriate.

Roof Lines



Roof lines are almost universally pitched and features such as decorative ridge tiles, chimneys and gables frequently create a varied roofline. Decorative barge boards are common in inner areas - and do not have to be white.

New buildings should create interesting roofscapes which carry echoes of these kinds of features.

Care should be taken with materials as decorative details work best in good quality materials which will last.

Roofing materials



Traditional roof finishes are natural slate and orange-red-brown plain tiles. Flashing details should ideally be in lead for good looks and long life.

Doors



The Plan area has a great many attractive building entrances in a variety of styles, which make a great contribution to its varied and interesting architecture. In the inner parts of the town in particular, wooden doors in traditional style are to be preferred.

Entrances which are set in to the façade add interest and variety.

(Finding a local modern example of interesting and welcoming entrances, particularly ones which were not derived from Victorian style was not easy. The one illustrated might be described as “not bad” – pity about the bins.)

Porches



Entrance to a block of flats designed to look like a large house.

In appropriate situations porches can add an element of interest and variety especially to a uniform streetscape.



(modern porch not from Windsor)

Windows



Nice proportions

Wooden sash windows predominate in inner areas with wooden casements in the majority of early to mid 20th century buildings. Proportions are important and new buildings should generally have windows that are of similar proportions to those of neighbouring properties. This is especially important for infill developments in parts of the town where the buildings are of uniform style. Where this is not the case, more variety will be acceptable. Infill in inner areas should preferably have wooden windows. Bay windows square, angled and round are common and an attractive feature.

Windows inset into the façade add depth and interest. Even a small inset can have an enlivening effect.

Paths and paving



Paths and paving should be appropriate to their setting. In the more formal urban setting, tiles, setts or stone paving are preferred.

Large uniform areas of hard landscaping should be avoided.

In outer areas especially in the Clewer Corridor, don't dismiss gravel as a surface treatment as it can be an appropriate and environmentally friendly solution either on its own or in conjunction with limited hard standing or vehicle tracks..

Parking Areas



lengthwise parking bays with trees and shrubs in a new estate in



Cippenham (image copyright Google 2016)

Parking areas especially those fronting the street should be designed to minimise impact and landscaped to soften the areas of hard surfacing.



(image copyright Google 2016)

Boundaries

 	 <p>railing with planting behind</p>	<p>Common boundary treatments are stone or brick walls, iron railings and hedges. In some parts of the outer suburbs gardens are open with lawns providing the transition from private to public space.</p>
	 <p>new hedge</p>	<p>The importance of green gardens and boundaries cannot be over- stated and every effort should be made to retain or create some greenery especially at the junction with the street.</p>
	 <p>New wall built with reclaimed bricks some shrubs would improve it further.</p>	<p>Landscaping should consider future maintenance and plant for the longer term.</p> <p>Low walls, railings or picket fences can be backed with planting to create a green backdrop.</p>

Front Gardens	
<p>The Royal Horticultural Society , as part of their "Greening Grey Britain " campaign, has produced a "Front Garden Guide" in order to encourage the re-greening of these often neglected spaces. We recommend this guide to all developers.</p> <p><i>At a recent Front Garden Summit Greg Clark MP Secretary of State for Communities and Local Government said he would ask officials to review planning rules for impermeable surfaces and will encourage more use of Neighbourhood Plans which allow communities to decide what greening best suits new developments.</i></p>	<p>Small front gardens often have to accommodate cars and refuse bins and so imagination and creativity are needed to ensure that the overall effect is green and pleasant to look at. Bin stores like garden sheds and plants in pots are not the answer . The shed stores will soon rot,</p>



the plants will die and the pots and planters will be thrown out.

Front garden planting should be in the ground.

Even the tiniest front garden can make a positive contribution to the street. This one has attractive multicoloured gravel, rope edged tiles and low maintenance planting.

Endnote

We are proud of our area and we believe that no one wants to build buildings which people who live nearby or pass by will dislike. This document should help to prevent inappropriate new developments by explaining the kind of buildings and features which the people who live and work in our Neighbourhood Plan area would like to see being built here. Developers will of course have to consult a whole range of documents in the course of project planning and design. The following documents should be helpful in ensuring good design which is appropriate for the WNP Area".

- Windsor Neighbourhood Plan
- Conservation Area Assessment for The Inner Windsor Conservation Area
- Conservation Area Assessment for the Trinity Place and Clarence Crescent Conservation Area
- Townscape Assessment and Windsor Neighbourhood Plan Townscape Extracts
- Windsor Neighbourhood Plan Area Design Guides.
- RHS Front Garden Guide

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WINDSOR NEIGHBOURHOOD PLAN

APPENDIX 10

Area Design Guides
Advice for developers

- I. Alma Road South – from Clarence Road to Goslar Way
- II. Bolton Avenue and Crescent
- III. Clewer Corridor – Mill Lane, Parsonage Lane and Hatch Lane
- IV. Dedworth Drive
- V. Gardner Cottages
- VI. Illingworth
- VII. Imperial Road
- VIII. Laing Estate

NEIGHBOURHOOD AREA DESIGN GUIDES

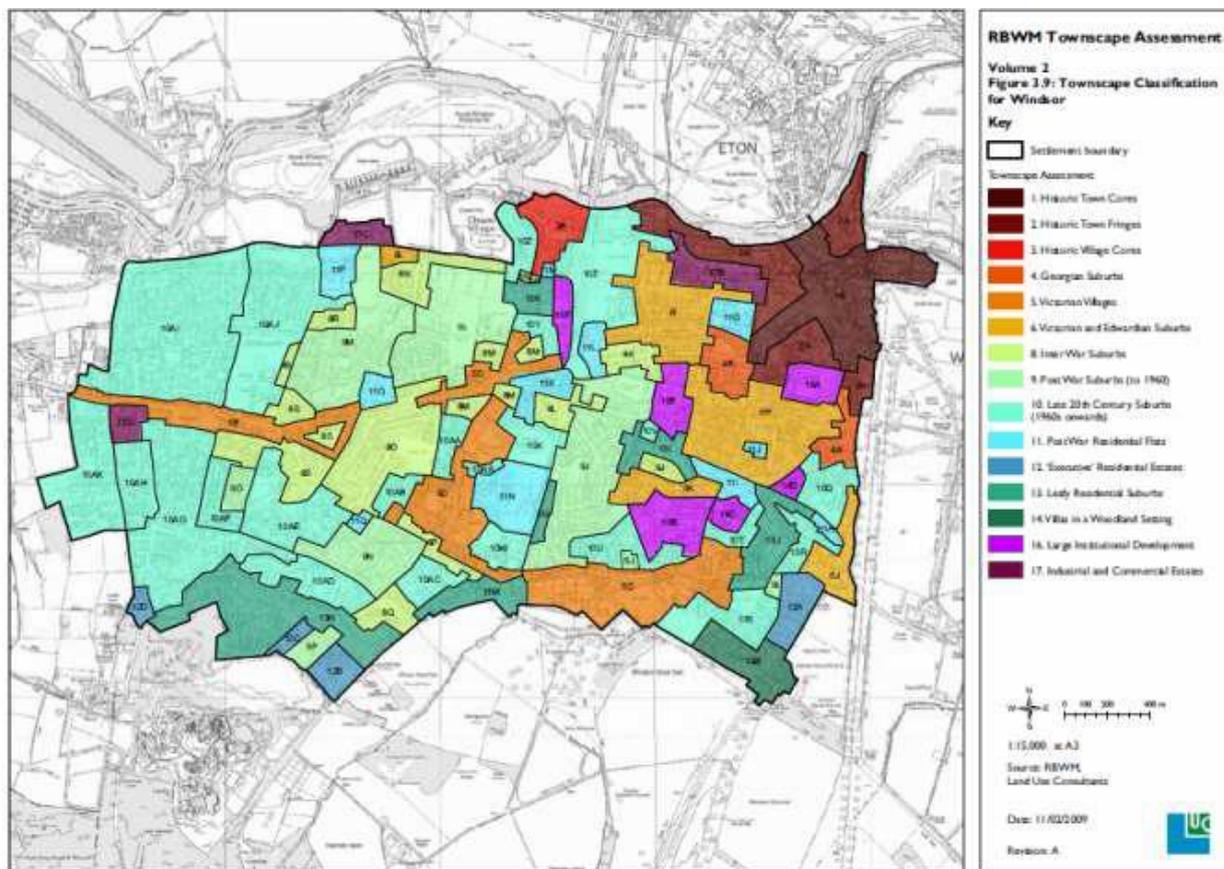
Introduction

1. The Windsor Neighbourhood Plan area is very diverse with a wide range of architectural styles and types of housing from large villas in extensive grounds and substantial town-houses, to rows of workers cottages and mid-century and modern planned estates and blocks of flats. The Townscape map reproduced here (figure 1) shows just how varied the townscape is.

2. One of the first themes to emerge from topic group and forum discussions was a desire for new development to be sensitive to the character of the different areas of the town and a strong feeling that this should not just be true within the older areas near the town centre but should embrace areas to the west, both historic areas which have been subsumed by later development and also areas created by twentieth century estate building. This theme is encapsulated in the WNP in policies **Her.01, Her.02, Des.01** and **Des.02**.

3. The design guides which follow do not cover the whole NP area but represent a number of character areas across the area which are examples of a type or, for one reason or another, may be particularly sensitive to development. They have been produced by a number of different Members of the Windsor Neighbourhood Forum. The Appendix sets out in more detail how these design guides were developed.

Figure 1 - Royal Borough of Windsor and Maidenhead Townscape Assessment 2013 – Townscapes of Windsor



I. Alma Road South Neighbourhood Area – From Clarence Road to Goslar Way



Area Character Assessment

This part of Alma Road is a wide gracious avenue with mature trees and town villas and two churches along its length together with the large Victorian buildings of Camperdown House (formerly called “The Hermitage” and part of the Imperial Service College) now converted to flats. The northern half of the area is in the Trinity Place and Clarence Crescent Conservation Area which includes properties up to Number 58 on the Eastern side of the road and up to and including Camperdown House on the Western side. The southern half, nearer to Goslar Way, is not in a conservation area and modern development has been allowed some of which is well integrated (see the left hand building in the top right picture) but some of which seriously erodes the character of the area.

The area currently includes a few non-residential uses, mainly at the southern end, but retains a primarily residential character. There is a variety of styles, materials and ages of buildings within the vicinity with Victorian and Edwardian villas and town houses predominating to the north and buildings with flats to the south together with the police station from the 1970s and the recent Holiday Inn. Properties along the road are commonly three or even four storeys high. The villas and town houses exhibit a wide variety of architectural details some of them quite unusual such as the tiled band under the balcony of the pair of villas at numbers 55 and 57. A common feature is small narrow front facing gables. The two churches, which are listed buildings, are both built of grey/buff stone but

otherwise the predominant materials are London stock or red clay brick with largely slate roofing although there are some houses with tiled roofs. There are many interesting door and window styles and stained glass. Front gardens are relatively small but generally large enough to park a vehicle. Typical boundaries are low brick walls backed by hedges or shrubs. Numbers 44, 53, 55, 56 and 58 together with Camperdown House are identified in the RBWM Conservation Area Appraisal as interesting non-listed buildings and as such are included in the proposed list of Windsor Non-Designated Heritage Assets currently being compiled.

Alma Road is a main entrance to the town with relatively high levels of traffic, including visitors arriving by coach. Car parking is allowed on both sides of the road. A pedestrian crossing half way along this stretch of Alma Road gives access from the town centre via St Marks Road to the well-used footpath leading to Vansittart Recreation Ground and to West Windsor beyond. Street trees along Alma Road create an impressive entrance to the town which should be enhanced by new development.

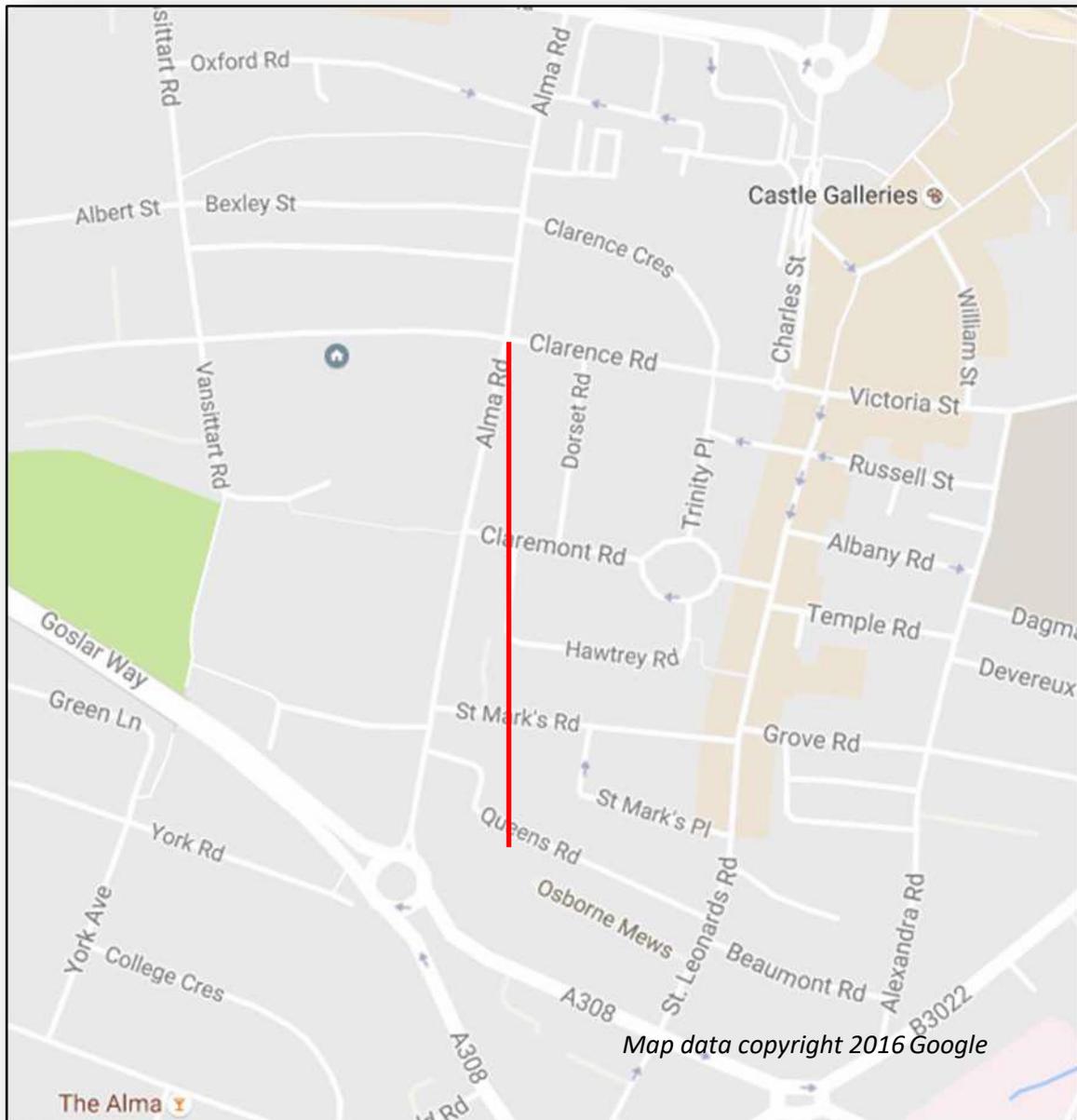
Development Guidance

OBJECTIVE	DESIGN RESPONSE	AVOID
For new development to enhance the area with complementary buildings and extensions which echo the buildings in the Conservation Area and enhance the visual quality of the area through using appropriate best quality materials	<p>New buildings should use the palette of local materials set out in the WNP General Design Guide. For extensions these should generally match the materials used on the main building.</p> <p>Buildings should generally be of a size and proportions which blend in to the surrounding houses and can usefully take references from them such as pitched roofs, gables and inset doorways.</p>	<p>Slab sided buildings with no detailing.</p> <p>Materials not in the local palette.</p> <p>Buildings which are not sensitive to the prevailing Victorian and Edwardian architecture.</p>
To maintain the appearance of the street and the leafy and spacious residential feel of the area.	Front setbacks should be no less than the average setback of the adjoining two buildings. Buildings can be three or four storeys (even five exceptionally) although it will be important to maintain spaces between buildings. With larger buildings frontages should be	Development in front of the normal building line or too close to plot boundaries

	articulated to mitigate the feeling of bulk.	
To maintain, replace and enhance green boundaries and front garden landscaping.	Boundary treatments can vary with walls, and hedges both appropriate. Front gardens should contain appropriate planting. Sufficient space should be left for landscaping in front gardens.	A lack of front garden planting. Gardens dominated by car parking. Planting should be in the ground and not in pots or planters. Front garden bin stores, if used, should be solidly constructed and well screened.
To replace the police station which is designated for development within the Local Plan period with a building more in keeping with its surroundings and which creates an attractive landmark building or buildings (two may be more appropriate facing Alma Road) as a focal point opposite the junction with St Marks Road. The existing building is too dominant and monolithic.	<p>The community expects to see a development of exceptional quality which restores this site to its place as a key component of an attractive residential area and important town gateway. The site is suitable for flats although some family houses are also acceptable.</p> <p>New building(s) will be no higher than 4 stories except where a 5th storey can give emphasis or a focal point to the design and this adds to the importance of the site at a main entrance to the town.</p> <p>(in the previous development there were special circumstances for additional height added after the building was completed and proposals of similar height will not be acceptable in a new building)</p> <p>The existing gap between new building(s) and Connaught Court</p>	Unimaginative slab sided design. Intrusive car parking.

	<p>will be maintained and a similar setback will be provided on the return frontage to the side road. The building(s) will generally conform to the building line of Connaught Court.</p> <p>New building(s) will have a traditional pitched roof in keeping with properties to the north. Dormer windows in the roof are acceptable. Elevations will be articulated to create interesting facades.</p> <p>Landscaping is considered to be integral to the design and a comprehensive landscaping scheme is required to be submitted. The layout should provide for the planting of trees on the Alma Road frontage. The existing historic boundary stone will be accommodated in the layout and be visible to the public.</p> <p>Vehicle access should be from the side road. Basement parking is preferred or if this is technically too difficult, under-croft parking.</p>	
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Alma Road South Neighbourhood Area – Map



II. Bolton Avenue and Crescent Neighbourhood Area



Area Character Assessment

Bolton Avenue, and Bolton Crescent form part of the Boltons Estate, which was originally built in late Victorian/early Edwardian times. The two roads are part of south suburban Windsor situated within walking distance of Windsor Great Park and about 15 minutes walk to the town centre. The RBWM Townscape Assessment characterises the area as leafy residential suburbs. The topography is gently undulating. The Bourne Ditch runs behind Bolton Crescent and under Bolton Avenue in a culvert in places and open in others.

The original houses on these two roads had very large plots, but these have gradually been infilled over the years, so there is now a range of individual detached houses in a mix of periods and styles ranging from Victorian/Edwardian, 1930s, post WWII, as well as late twentieth century mock Georgian, as well as very recent redevelopments. Several of the original early houses have substantial mock tudor elements to their style and three of these remain (Essex Lodge, The Boltons, Burnell House). The mock tudor theme (mostly black and white beamed gables) was reflected in some of the later mid-twentieth century houses, so there is an architectural thread in places. Several of the houses also have Arts and Crafts architectural elements. Red brick, render and red clay tiled roofs predominate.

Development Guidance

OBJECTIVE	DESIGN RESPONSE	AVOID
To encourage appropriate residential developments which are sensitive to the local character	Ensuring that new building forms and design relate to the street scene and reflect good quality materials which respect local character features such as wooden detailing, ornate chimneys and red tiled roofs, while allowing modern design.	Taking design clues from the more urban Victorian buildings in the town centre rather than from the surrounding “Boltons” buildings eg by using slate or slate substitutes for roofs and cream, rather than red, brick for walls.
To maintain as far as possible the spacious feel of the area	<p>Ensure buildings are sufficiently set back at the front and sides to sustain sense of space and separation, with some vegetation, particularly at front side boundaries and between dwellings.</p> <p>Use articulation and detailing to minimise the effect of bulk</p> <p>New building will respect the building lines and the heights of surrounding buildings</p>	Avoid development right up to plot boundaries.
To Maintain a green feel with gardens and green boundaries and appropriate street trees, strengthening the tree canopy of the neighbourhood, in private gardens, streets and areas of parkland	<p>Buildings should be sited and designed to minimise loss of existing vegetation.</p> <p>Replace any trees lost with trees that will grow to a similar size.</p> <p>Where buildings are already close to the street replace with suitable</p>	<p>Site clearance. The loss of trees and shrubs, green front gardens and established garden boundaries.</p> <p>Replacing green boundaries and vegetation with hard landscaping</p> <p>High close boarded</p>

	<p>varieties to avoid problems with roots/subsidence.</p> <p>Maintain and re-instate green boundaries and plant trees and substantial shrubs.</p> <p>Front boundary treatments should be in accordance with the street scene that predominates in the street.</p> <p>Fencing/walls should be in accordance with the street scene and accommodate planting.</p>	<p>fencing on front garden boundaries.</p>
<p>Ensure there is sufficient parking for residents, but ensure lots are not dominated by impervious surfacing or car parking areas.</p>	<p>Local garages, carports and car parking areas behind the front façade of the dwelling.</p> <p>Minimise impervious surfacing in front garden areas.</p> <p>Provide only one front garden crossover per frontage</p>	<p>Front gardens/setbacks dominated by car parking structures and hard surfacing.</p> <p>Loss of street trees due to cross over construction</p>

Bolton Drive and Bolton Crescent Neighbourhood Area Map



Map data copyright ?

III. Clewer Corridor Neighbourhood Area



Area Character Assessment

The Clewer Corridor is the ancient route between the Thames and the hinterland. It follows a significant continuous pre-Saxon route connecting St Leonard's Hill with what is now Clewer Hill Road through to the Thames at Clewer Mill. It follows the modern day Hatch Lane, Parsonage Lane and Mill Lane .

The Townscape Assessment categorises Clewer Green as a Victorian Village (TA ref 5D) linked to the Convent of St John the Baptist in Hatch Lane but this is not correct and in fact this route was originally through farmland and very sparsely developed. There were small clusters of 17th, 18th and early 19th century buildings, particularly near the Thames, around the mill and St Andrew's Church, (parts of which are Norman) and at the top of Hatch Lane. In the mid-nineteenth century the large buildings of the Convent of St John the Baptist were constructed in Hatch Lane. Later development following the sale of Clewer Manor in the nineteen twenties, saw the building of several villas in substantial gardens and there has also been more recent modern infill.

Despite a variety of developments over the centuries and few remaining early buildings, throughout much of its length the route still maintains the general appearance of a country

green lane. This survival is rare in the area. The NP aims to preserve and enhance the character of this remaining early route. There was another ancient route further west at Wolf Lane but this has almost wholly lost its character as a result of modern development.

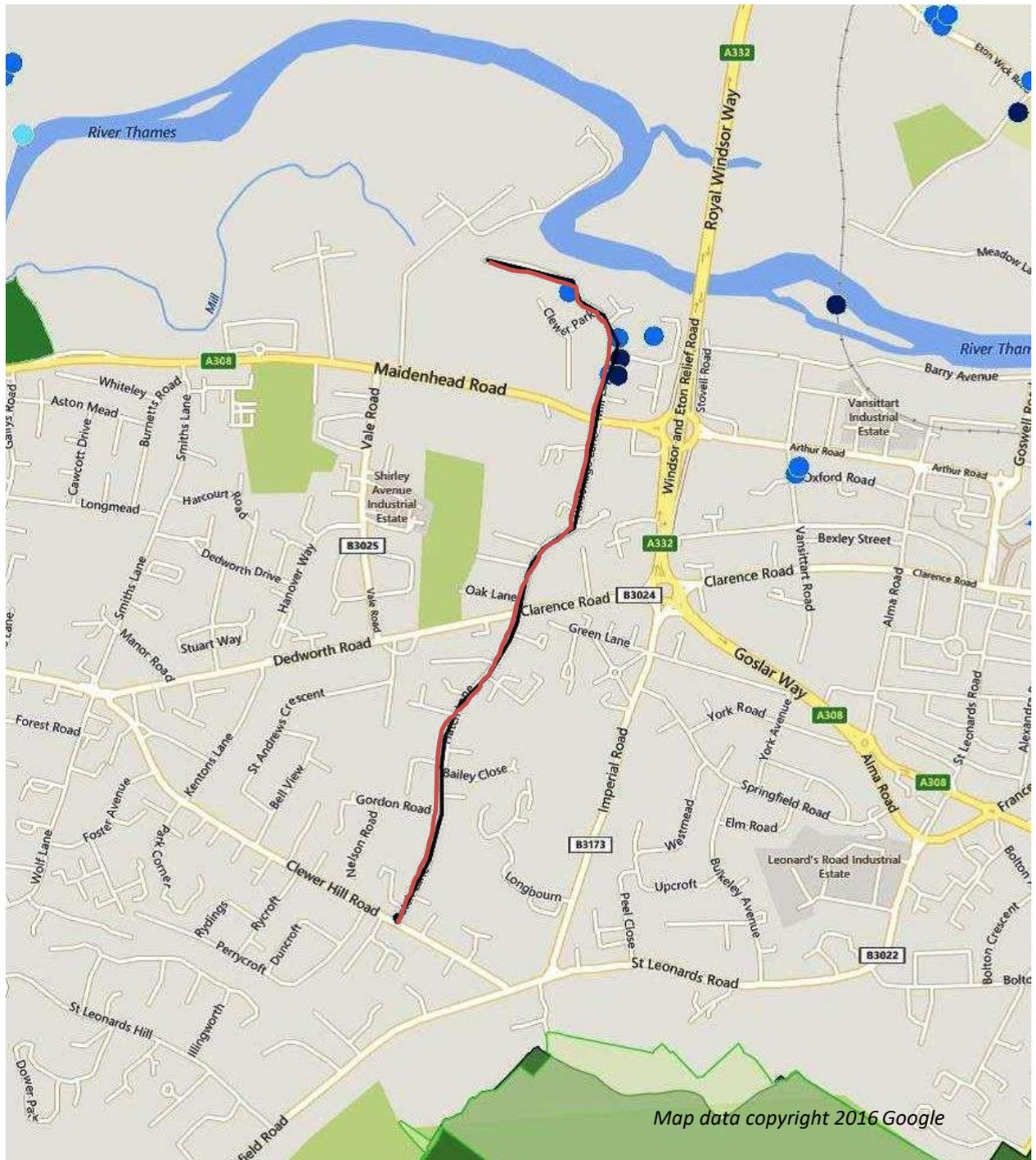
All developers should carefully consider the impact that any development along the Clewer Corridor would have on its appearance as a leafy country lane. They should seek to replace features which have been lost in some parts, such as native hedging. A recent application in a sensitive area of Hatch Lane has had a condition imposed to help protect soft landscaping which is a positive move .

Development Guidance

OBJECTIVE	DESIGN RESPONSE	AVOID
To avoid development gradually urbanising the route	Development should be set well back from the lane and should be well articulated and site responsive.	Townhouses and terraces.
To ensure that buildings infilling between or replacing existing villas have setbacks and spacing which maintain the country atmosphere.	<p>Front setbacks should be no less than the average setback of the adjoining two buildings.</p> <p>Buildings should be set back from both side boundaries of the plot to allow space for vegetation between buildings.</p> <p>Front boundary treatments should be green.</p>	 <p>Boundary to boundary development with no space for planting</p>
To maintain the setting of the remaining ancient buildings.	Development should especially respect the scale and vernacular architecture of any nearby	Too large modern buildings next to old cottages.

	<p>remaining pre-Victorian buildings.</p>	
<p>To retain natural green boundaries and planting</p>	<p>Where single homes are replaced with larger or more dwellings, the development should maintain a single access point or an “in and out” driveway. Hedges which have already been lost should be replaced with appropriate, preferably native, planting.</p>	<p>The removal of hedges trees and shrubs, particularly adjacent to the road; multiple accesses.</p>
<p>To ensure that the front gardens are not dominated by impervious surfacing, driveways or car parking structures</p>	<p>Care should be taken with vehicle access points to maintain or replace planting as far as possible and for the surfacing of driveways to be appropriate to a rural setting such as gravel rather than paving.</p>	<p>Front gardens dominated by paving and cars.</p>

Clewer Corridor Neighbourhood Area map



IV. Dedworth Drive Neighbourhood Area



Area Character Assessment

The neighbourhood comprises a mostly 1950s or 1960s area of public housing all of a similar design and laid out on Garden City principles with semi-detached houses in spacious plots with hedged boundaries, wide grass verges and village style greens.

Houses are red brick (rendered and painted in the first part of Stuart Way) with a stretcher bond and steep pitched tiled roofs. There is a variety of porch styles.

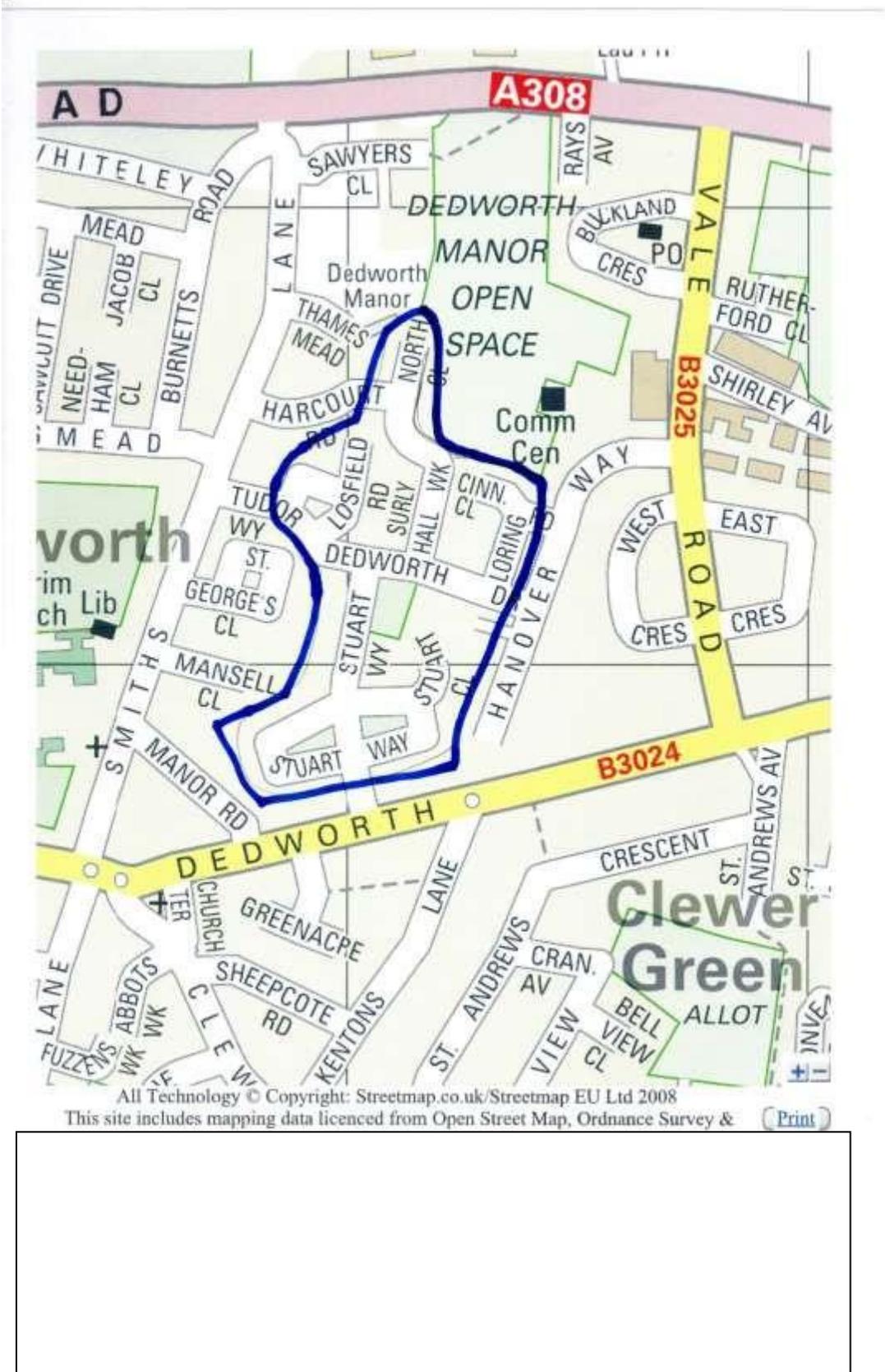
Development Guidance

OBJECTIVE	DESIGN RESPONSE	AVOID
<p>To ensure that infill and extensions complement existing buildings</p> <p><i>(There is the possibility in the future for some more intensive redevelopment at the junction of Stuart Way and Dedworth Road.)</i></p>	<p>This is an area where the character is formed by the architecture being similar. New building to match in materials and style to the existing, with brick exterior of same type and bond as neighbouring properties.</p> <p>windows of same size and proportion and colour as neighbouring properties.</p> <p>Roof materials and pitch</p>	<p>Different coloured bricks on external walls to neighbouring properties.</p> <p>Pebble dashed exterior walls.</p> <p>Black or dark window frames.</p> <p>Roof tiling of different material, size and colour to neighbouring property.</p> <p>Buildings forward of existing building line</p>

	<p>to match those of neighbouring properties.</p> <p>Individual styling can be introduced with different porch types</p> <p>The building line is observed</p>	
To ensure that building setbacks maintain the spacious feel of the estate.	Side extensions to be set back from the front face of the building.	Filling in the space between buildings so as to create the appearance of a terrace.
To integrate roof extensions	Dormers only on rear elevations with front roof windows flush with the roof and as unobtrusive as possible	Making hipped roofs into gable roofs.
To ensure that the front gardens are not dominated by impervious surfacing, driveways or car parking structures	<p>With the exception of driveways, minimise impervious surfacing in front garden areas.</p> <p>Keep or introduce front garden vegetation.</p>	Front gardens dominated by car parking structures and hard surfacing.
To maintain the front garden hedging which is such an important and attractive feature.	<p>Keep vehicle access width to the minimum allowed.</p> <p>Consider parking bays or strengthening grass verges for parking as an alternative to allowing vehicle crossovers.</p>	Removing hedges and replacing with fences or walls.

<p>To preserve and enhance trees, shrubs and green open spaces.</p>	<p>New building should be sited and designed to minimise the loss of vegetation. Any trees or mature planting lost should be replaced.</p>	<p>Any development impacting on the “village greens”</p>
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Dedworth Drive Neighbourhood Area Map



V. Gardner Cottages Neighbourhood Area



Area Character Assessment

Gardner Cottages is situated immediately to the West of Windsor town centre in an area of Victorian terraced cottages built largely from the mid nineteenth to the early twentieth century.

This unusual square of 96 two-storey workers cottages (plus 1 extra squeezed in later) fronting Albert Road, Vansittart Road and the L-shaped Duke Street, and with a large central green, was built in 1870 for Robert Richardson Gardner who owned a large number of cottages in the area and was the town's MP from 1874 – 1890. Each terrace of twelve cottages has a larger one at each end and a pair of larger ones in the middle flanking a passage leading to the central green. The cottages are built of London stock brick with red brick string courses. There are red brick front door lintels and decorative brick panels in the larger cottages. The larger cottages also have gables front and back with carved bargeboards and with the Gardner and Richardson arms carved in the front gables.

It is believed that Gardner Cottages was one of the projects for better working class homes following on from those encouraged by Prince Albert. Residents there after the Second World War recall that as children they appreciated the chance to play safely on the "green" though they also played on the street as well. There is a locally well-known picture of a party on the green believed to be for the coronation of King George VI in 1937.

The original architecture of the cottages is already considerably altered by painting, rendering and replacement of windows and doors but the group remains an interesting and attractive addition to the townscape.

(Much of the potential alteration to these cottages is presently permitted development and as such cannot be directly influenced but we hope that by publicising what is considered to be good practice for repairing and altering these historic buildings, owners will be

encouraged to retain historic features and even to replace some of those which have been lost.)

Development Guidance

OBJECTIVE	DESIGN RESPONSE	AVOID
To encourage the preservation and enhancement of this unusual set of planned workers cottages	<p>Conservative repair of external walls.</p> <p>Replace spalled bricks with similar or red render to retain the string courses and decorative red brickwork.</p> <p>Retain chimney stacks</p>	<p>Painting or rendering brickwork particularly of the larger cottages. Especially avoid painting over the carved plaques with the Gardner Arms.</p> <p>Removing chimneys.</p>
To preserve the roof-scape as far as possible when roof conversions are carried out.	<p>One small conservation roof-light only on the front facing roof slope.</p> <p>Modest rear dormers finished to match the roofing materials.</p> <p>Re-roofing in slate or slate-like tiles.</p>	<p>Roof-lights which dominate the front roof slope.</p> <p>These cottages are unusual in that the rear elevations are very visible from the central “green” and excessive or intrusive rear dormers should be avoided.</p> <p>Concrete tiles.</p>
Seek opportunities to retain or replace original windows and doors.	<p>Wooden sash windows and wooden front doors.</p> <p>Windows should be inset and not flush with the external wall.</p>	<p>UPVC windows and doors and windows of a different size shape or pattern from the original.</p>
Retain each cottage’s small back garden as far as possible.	<p>Single storey rear extensions only. Designed to match the original, preferably in recycled bricks.</p>	<p>Boxy over large extensions.</p>
Seek opportunities for more attractive bin storage.	<p>Communal purpose built stores?</p>	<p>Most bins are now stored on the “green” which is unattractive.</p>

Gardner Cottages – Map



VI. Illingworth Neighbourhood Area



Area Character Assessment

Illingworth comprises a residential Estate built around the 1970's. The Estate is a loop off St Leonards Hill, a much sought-after large cul-de-sac, and is thus blessed with no passing traffic. There are some 80 houses on the Estate, all originally built as two storey houses with open front gardens. The houses are of a similar mock Tudor/Georgian style in one of two brick colours, with the same colour roof tiles and pitch. The houses at the entrance of the Estate are larger than the ones at the top of the Estate. A significant proportion of residents have extended their houses both sideways and upwards, whilst ensuring the style of the house is maintained.

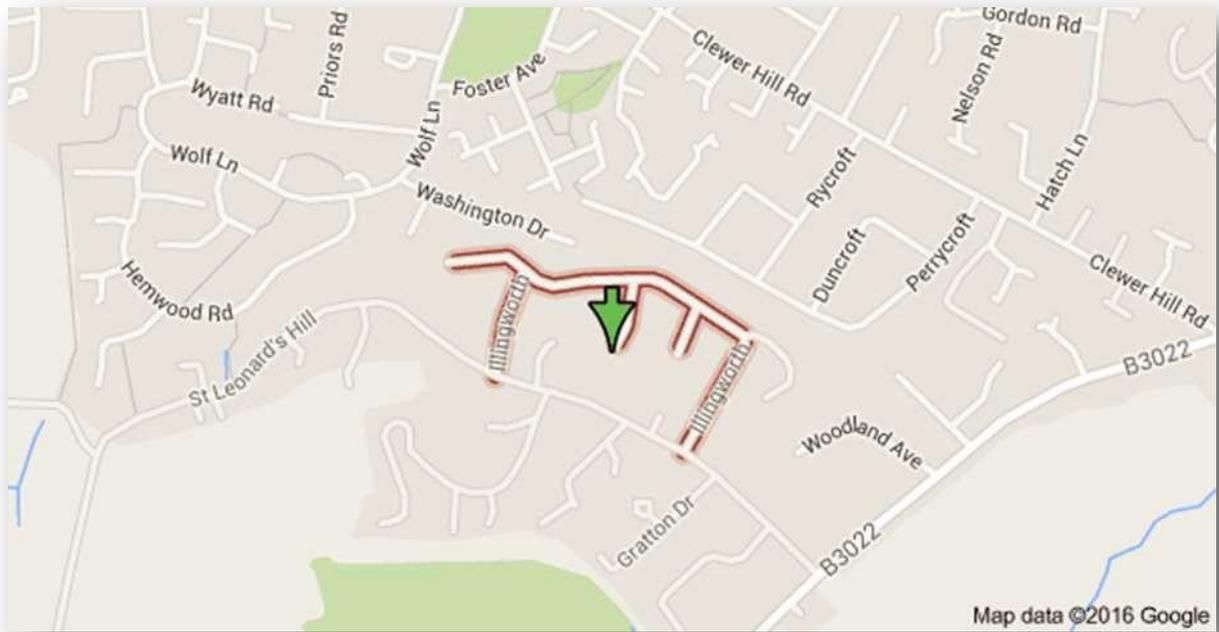
Development Guidance

OBJECTIVE	DESIGN RESPONSE	AVOID
To ensure that buildings are well articulated and relate to neighbouring houses and	Buildings should have the appearance to the street	Dormer windows facing the street.

match the street scene	<p>of two storeys.</p> <p>Roof windows facing the street to be flush with the roof</p>	Roof line increased by more than 1 metre.
To ensure that buildings complement existing buildings	<p>Wholly or partial brick exterior of same type as neighbouring properties.</p> <p>Fenestrations - windows of same size and proportion and colour as neighbouring properties. External shutters to match neighbouring properties</p> <p>Roof materials to match those of neighbouring properties.</p> <p>The building line is observed</p>	<p>Different coloured bricks on external walls to neighbouring properties.</p> <p>Pebble dashed exterior walls.</p> <p>Black or dark window frames.</p> <p>Lack of external shutters when neighbouring properties have such.</p> <p>Roof tiling of different material, size and colour to neighbouring property.</p> <p>Buildings forward of existing building line. Roof pitches which differ from those of neighbouring properties.</p>
To ensure that building setbacks allow space between dwellings.	Dwellings should be set back from both side boundaries.	Boundary to boundary development.
To ensure that the front setbacks are not dominated by impervious surfacing, driveways or car parking structures	<p>Locate garages, carports beside the building.</p> <p>Provide a balance of driveway and front garden.</p>	Front setbacks dominated by car parking structures and hard surfacing. Gun barrel driveways.
To ensure that car parking structures, driveways, manoeuvring areas and	<p>Locate garages, carports beside the building.</p> <p>Provide a balance of</p>	All the front area devoted to car parking. Garages set more than 1m forward

outbuildings do not dominate the streetscape.	driveway and front garden.	from building line.
To encourage open frontage treatments, including the use of vegetation instead of front fencing and/or low fencing	Provide no front fence Alternatively, provide an open style fence up to 0.9 metres in height. Low vegetation at the front boundary	High, solid front fences. Loss of open frontages. Dwellings set too far forward. Car parking structures and driveways dominating the front setback. High hedges or vegetation.

Illingworth Neighbourhood Area Map



VII. Imperial Road Neighbourhood Area



Area Character Assessment

Imperial Road is within a suburban residential area to the West of Windsor town centre. The Road stretches for about one and a half kilometres from the junction with Royal Windsor Way and Clarence Road to the North to St Leonards Road/Winkfield Road to the South. The Road is a main artery for both local and through traffic and can become extremely busy and congested at rush hour and in the summer when the Legoland Resort is open. The air quality standard for NO₂ is recorded as being exceeded at the Imperial Road/St Leonards Road junction.

The eastern side is characterised by dwellings in generous plots, wide but not overly deep, and extensive greenery. This character is recognised by the Council's *Royal Borough of Windsor and Maidenhead Townscape Assessment*, which characterises it as a 'Leafy Residential Suburb'. The Western side comprises an important green artery which, although reduced to a grass verge at the extreme northern end, runs practically the whole length of the road. There are openings on this side to Imperial Park, the Longbourn

residential development and to the Windsor Girls School but no houses fronting the road except right at the northern end by the roundabout where there is a modern flat development.

Particularly at the southern end of the road, where the original plot sizes were largest, there have been a number of development proposals in recent years aiming to demolish large detached homes and replace these with apartments. These have been resisted by residents and by the Borough, mainly on traffic and air pollution grounds, although modified schemes have eventually been approved. Two have already been completed and another is under construction. Inevitably these developments increase the traffic flow and in 2015 it was recorded that the two completed flat developments had increased resident traffic on the road by 95% (Royal Borough Observer 17 August 2015).

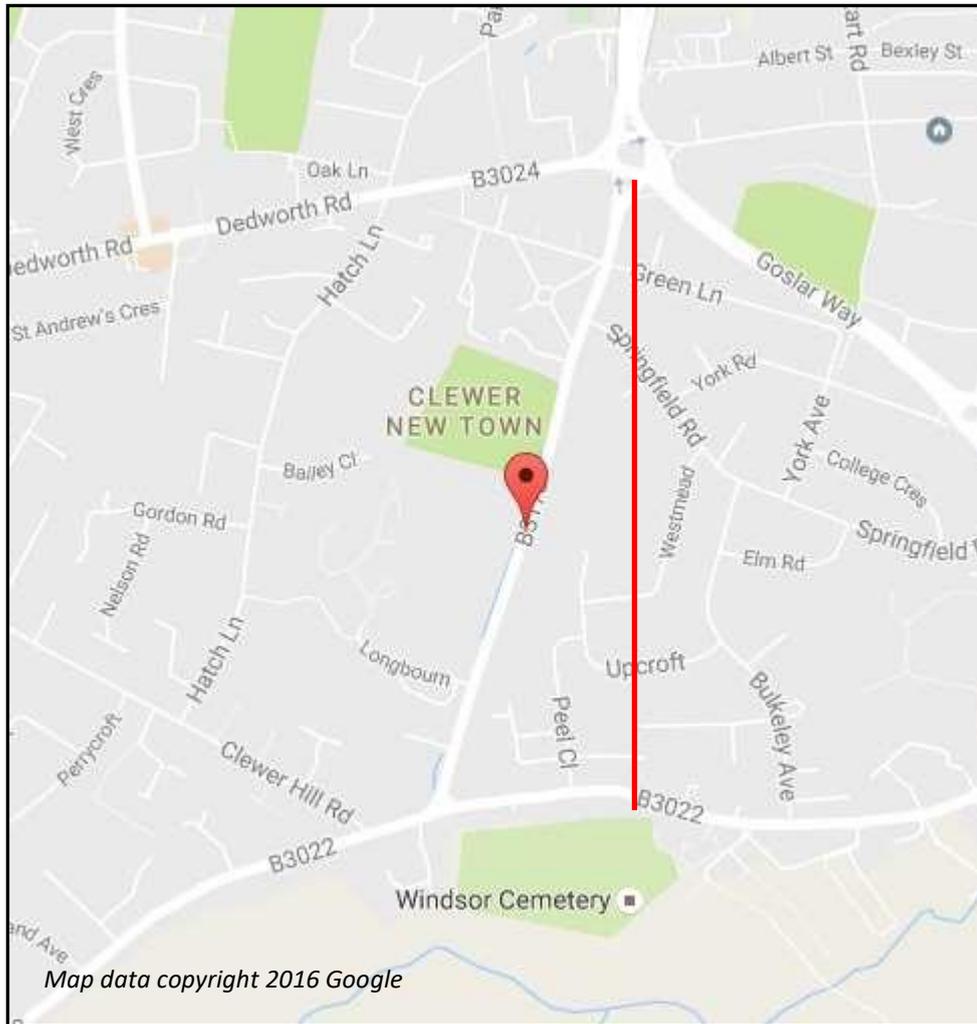
There have been some benefits from the new buildings in the opening up of front garden areas and new landscaping but residents are concerned that if this intensification continues, the traffic and pollution disbenefits will be significant. The Borough has supported residents in rejecting what is has been seen as over intensive development of this very sensitive area and has succeeded to some extent in reducing the number of units allowed. Both the Borough and the NP need to balance the need for more homes against the potential degradation of the environment in this important traffic and air pollution hotspot. Our aim is to encourage development which achieves this balance.

Development Guidance

OBJECTIVE	DESIGN RESPONSE	AVOID
To support new development which does not overly increase the traffic flows.	New developments are of fewer units and larger style than the possible maximum, in order to minimise car movements as far as possible.	Large numbers of one bedroom units.
To ensure that building setbacks maintain the spacious feel	Buildings should be of two or two and a half storeys and set well back from the road frontage with room at either side for landscaping. Traditional or modern designs are acceptable as long as they sensitive to the immediate context, are well articulated and executed in	Slab-sided boxy structures.

	<p>good quality materials with interesting detailing. Care should be taken to avoid overcrowding or overlooking of the remaining detached homes.</p>	
<p>To maintain and enhance the leafy green appearance of the road</p>	<p>Landscaping will be a key feature of any new development and a landscaping scheme should be presented for approval before the start of development. The design should allow space for the planting to mature naturally. Care should be taken to preserve existing trees and mature shrubs and to plan for new tree planting on the street frontage. This is an area where large trees and exotic species are appropriate in prominent locations.</p> <p>Development should not interrupt or detract from the green artery on the western side of the road.</p>	<p>Removal of trees and shrubs.</p> <p>Lack of room for plants to grow.</p> <p>Narrow green margins.</p>

Imperial Road Neighbourhood Area Map



VIII. Laing Estate Neighbourhood Area



Area Character Assessment

The Laing Estate is a residential area, located on the west side of the Windsor Neighbourhood Plan area. The estate was built by John Laing, starting in 1962 and finishing in 1969 /70.

The land slopes gently from its southern boundary, the Dedworth Road, some 7 to 10 metres down to its northern boundary, the Maidenhead Road. Gallys Road and its side roads form the eastern boundary and Ruddlesway and its side roads form the western boundary.

The estate comprises a mix of residential units. Those on the Maidenhead Road and on the lower part of the west side of Ruddlesway are detached two storey homes. The remainder include bungalows, semi-detached two storey units, three storey town houses, terraced two storey units and additional detached units. At the heart of the estate lies Homer First School, attended by 218 pupils between the ages of 5 to 9 (Ofsted Report 2013).

The layout of the estate embodies a distinctive and attractive character, using gently sweeping curves rather than a formal rectangular grid and this brings a pleasant individuality to the location of each of the homes. The front gardens are open plan in that there are no fences or front garden hard boundary features. These gardens were originally laid to lawn and these generally remain, although over the years some have been transformed into hard paved areas for the parking of cars.

A consistent set of design features were used in the construction of the estate and this impression is readily evident as one passes along the roads of the estate. The original floor areas of the detached properties on the Maidenhead Road and Ruddlesway are of a similar size and are of a similar height. So too are the semi- detached and terraced properties. Only the town houses are three storey.

The properties have been constructed using brick elevations, under pitched, tiled roofs. Window areas in the elevations are generous, giving the interiors the benefit of natural daylight and the advantage of good aspects from within the properties.

The developers wished that these features should be retained and the deeds of individual properties included covenants that were intended to achieve this outcome.

These Design Guidelines are intended to guide future development so that the character of the Laing Estate is preserved and the size and nature of properties remain consistent with the original design principles.

Development Guidance

OBJECTIVE	DESIGN RESPONSE	AVOID
To ensure that future development on the Laing estate conforms to the building forms and appearance that were employed in the original design.	Development should not exceed the height and bulk of surrounding buildings unless it can be shown to have no adverse effect on the character of the estate. The building line should be observed.	Buildings that are not in character with nearby buildings on the Estate Building in front of the existing building line.
To ensure that building setbacks maintain the spacious feel of the Estate	Spatial separation between buildings should be retained in order to maintain the character of the street in which the buildings are situated. Side extensions are to be set back from the front face of the building	Infilling between buildings where this creates the appearance of new development forming a terrace with adjacent buildings, where none previously existed.
To ensure that future development on the Laing estate conforms to the style	Elevations and roofs of new development should conform to the style and	The use of building materials which are different in character to those uses in

and character employed in the original design.	character of the surrounding buildings of a similar use category.	the construction of the Estate.
To integrate roof extensions	Dormers should be constructed only on rear elevations.	Making hipped roofs into gable roofs.
To ensure that the 'open plan' nature of the estate is retained.	Development should not enclose the land between the existing development and the public highway.	The erection of fences and boundary structures on land fronting the development
To ensure that the front gardens are not dominated by impervious surfaces, driveways or car parking structures.	With the exception of driveways, minimise impervious surfacing in front garden areas. Keep or introduce planted areas in front gardens.	Front gardens that are dominated by hard surfacing or car parking structures.

Laing Estate Neighbourhood Area Map



Appendix

How the design guides were developed

4. At a workshop held at Legoland in 2015 we considered area character and how best to divide up the NP area into more manageable parts so that we could conduct area assessments of character. This resulted in the division of the NP area into eight broad segments (see figure 2). character assessments were produced of these sub-areas which can be found in the WNP evidence base . Subsequent research and discussion led us to the conclusion that these area assessments were uncomfortably broad but that the Townscape Assessment was too fine grain to work with. The Townscape Assessment contains much useful design guidance but there are omissions and some errors and it can be difficult to use as the text covers a wider area than our NP area.

Figure 2 – Sub-areas



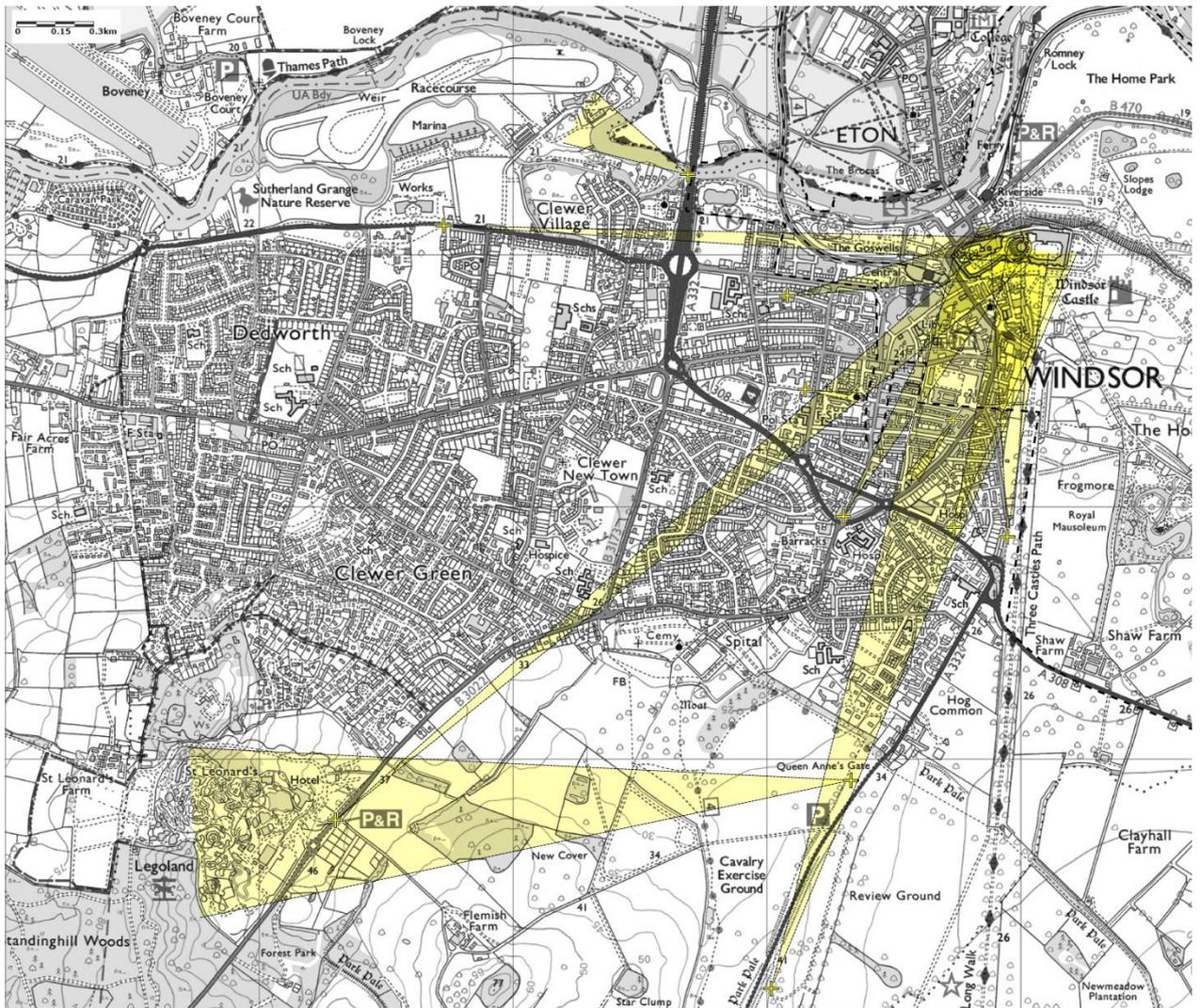
5. Our ideas were further refined by public consultations in January 2016. It had always been easy to get people to express views about what they did not like in new buildings (some new developments like the Holiday Inn in Alma Road and the houses on the Bricklayers Arms site at the top of Hatch Lane were universally disliked) but we were keen to find out what design of new development residents would be happy to see built. In two well attended public consultation sessions we exhibited photographs of many buildings in the town and sought views on what designs and materials were thought to be appropriate. The many post-it notes and comments were collated and out of this emerged a set of design principles and a palette of materials which residents approved of.

6. Eventually we decided to capture the evidence from all our design research and consultation by producing two documents: a general design guide covering broad themes for the whole area and this document - a set of neighbourhood area design guides. The particular areas covered here are not the only character areas within the NP area but represent a selection of such areas, largely outside formal Conservation Areas, and are, taken together, designed to provide developers with guidance relating to many of the townscape types to be found across the NP area. The selection of areas came about over time as areas were put forward by Forum Members as being of particular character interest or particularly sensitive. The final choice bore in mind the need for a variety of different types of area and a geographical spread.

WINDSOR NEIGHBOURHOOD PLAN

APPENDIX 11

Local Viewing Corridors



Introduction to viewing policy

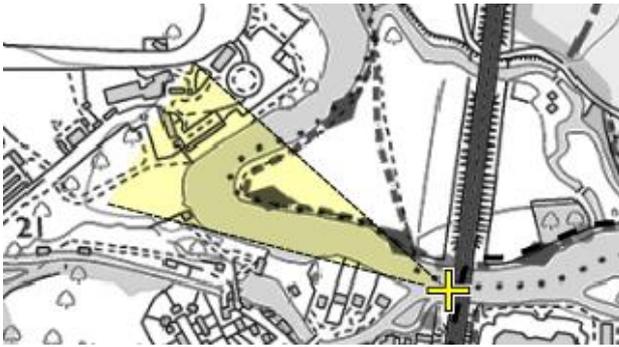
- The following eleven (11) designated Local Viewing Corridors are the result of scrutinising a number of community-identified local views against the GLA's London View Management Framework SPG (March 2012).
- This framework classifies views according to whether they are a panorama, linear view, river prospect, or townscape view. It also makes consideration for the foreground, middleground, and background of the view, and whether particular protecting certain urban silhouettes would be appropriate.
- All views have a focus on a significant and historic building or landscape. Being the most significant monument in the local area, the majority of views are to Windsor Castle. This is, however, by no means the only significant viewing focus in the neighbourhood plan area which features a number of important buildings and landscapes.

1 View of the racecourse from Windsor Way Bridge

1. Notes

1.1. The focus of this view is both a) the main racetrack buildings and b) the river banks.

1.2. In the case of both foci, there is potential for view disruption from development in the Eton and Eton Wick Neighbourhood Plan area.



2 View of Windsor Castle from Duke Street

2. Notes

2.1. Windsor Castle is visible from the majority of Duke Street.



3 View of All Saints Church from Helena Road

3. Notes

3.1. All Saints Church is visible from the majority of Helena Road.



4 View of Windsor Castle from Maidenhead Road

4. Notes

- 4.1. Consider adding Neighbourhood Planning project of benches in the nearby park to reinforce this view point.



5 View of the Holy Trinity Church from Claremont Road

5. Notes

5.1. This view is predominantly concerned with development of either the footpath opposite Claremont Road or tall buildings to the rear of Holy Trinity Church.



6 St Georges Chapel from Knights Place

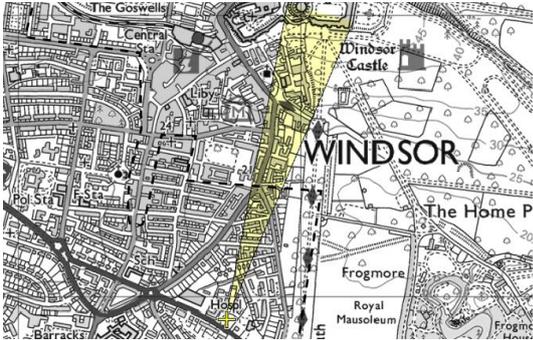
6. Notes

6.1. One might consider tree-pruning initiatives to enhance to local view.



7 Windsor Castle from Chaucer Close green space

7. Notes



8 View of Windsor Castle from Kings Road

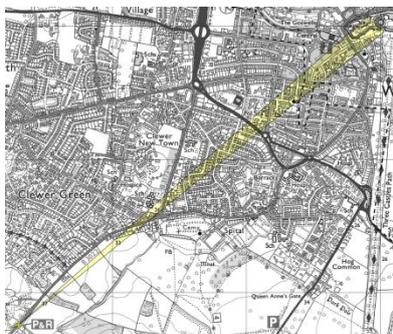
8. Notes



9 View of Windsor Castle from the entrance to LEGOLAND

9. Notes

- 9.1. Not a particularly pedestrian friendly area. Consider a Neighbourhood Plan project to improve with benches etc. if necessary.



10 View of Windsor Castle from the A332 lay-by

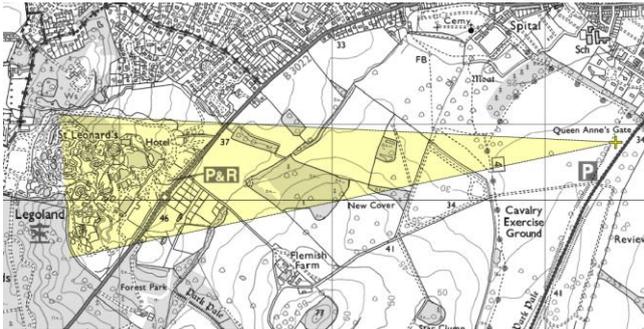
10. Notes



11 View of Legoland from across the Great Park

11. Notes

- 11.1. The viewing start point runs from the parking area on the A332 to the urban boundary to Windsor. It is the intention of the Neighbourhood Plan that the historic landscape over Windsor Great Park Stag Meadow and up to St Leonard's Hill should be protected.
- 11.2. It is proposed that (a) new development in this area should not impact on the view to St Leonard's Mansion and (b) surrounding development should not exceed the height of either the tree line or roofline of St Leonard's Mansion – whichever is lower.



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WINDSOR NEIGHBOURHOOD PLAN

APPENDIX 12

Business & Shop Front Design Guidance

Windsor Neighbourhood Plan

1.1 Introduction

This guide is intended to provide advice on the design of businesses and shop fronts within the designated Windsor Neighbourhood Plan area, and should be taken into account when planning replacement or new shop fronts within the WNP area as per the WNP Policy RET.01.

Most shops in the WNP area are in buildings which vary in character and period, from converted Victorian buildings, to small mid-twentieth century parades or clusters, or more modern purpose built structures. There are some in Victorian buildings which have been converted without much care for their context. Although the architecture of some quite modern buildings and shop fronts can be seen anywhere in the country, it is the view of the WNP that, in places, their appearance can be improved.

General Principles: Any shop front should reflect the building overall. A sense of local character should be encouraged. Exterior metal roller shutters should be avoided. Where possible the whole frontage area including parking and landscaping should be considered, as well as pedestrian and disabled access.

In developing this guidance document the Neighbourhood Forum has taken into account the wider social, cultural, economic and environmental benefits that the conservation of the historic environment can bring (NPPF), and the current RBWM guidance.

1.2 Key Objectives:

The key objectives in relation to business and shop front design and signage in the Windsor Neighbourhood Plan area are as follows:

- I. To ensure the retention, refurbishment and reinstatement of original architectural features of merit. including pilasters, console brackets, corncicing, stall-risers, recessed doors, brickwork, doors and windows, and other traditional detailing, using buildings materials as may be identified, to retain and enhance the character of the area.
- II. To support well-proportioned frontages. Doors, fascias and windows and canopies should be in proportion with the building itself, including the upper floors, and not overlarge. Glazing bars should be used to sub divide large areas of glass
- III. To use appropriate materials from our General WNP Design Guide, in keeping with the wider building, high quality, and in materials and colours appropriate to the overall building.

- IV. To ensure accessibility to all including those with disabilities and prams and pushchairs (as per current building regulations).
- V. To create attractive window displays at all times, that are not obscured by advertising (which creates a “dead” frontage). Vacant shops empty for more than 2 months or awaiting renovation should use imaginative ways to avoid looking run down, (such as through the use of temporary vinyl pictures).
- VI. To integrate security features, which have a minimum impact on architectural features. Toughened security glass, internal fine grilles or mesh are more effective for security and preferred to external roller shutters which damage the street scene (and which are anyway strongly discouraged by RBWM).
- VII. Signs, canopies and awnings should be in proportion to the building frontage and not obscure the shop front, obstruct the view or damage the public realm and street scene. Signage that is discrete, is sympathetic to the character of the building and street, and brand advertising that does not dominate the architecture and character of the building or surroundings, is preferred.
- VIII. Make maximum use of the forecourt (where within the shopkeepers control), incorporating soft landscaping and benches and parking where possible, without obstruction of the highway, footway or visibility (and conforming with RBWM licensing rules for use of forecourts), contributing to the attractiveness and vitality of the street scene.
- IX. Colour to be used sympathetically and harmoniously within individual frontages and in relation to neighbouring buildings. Aesthetic cohesiveness of decoration within shopping parades, as well as in the decoration of individual shops adds to the visual attractiveness and experience of these areas.

1.3 WNP Illustrative examples



1.4

Attractive window display. Incorporates traditional brickwork into the design, good use of stallriser, small fascia. Harmonised paint colour both within the shop front and with the brickwork. Flowerboxes brighten up the frontage.



1.5



Good use of stallriser, white mullions, sensitive canopy, discrete signage.



1.6



Modern integrated plate glass shop front suitable for the style of building along with soft landscaping of the parking area.



1.7

Signage is in proportion, and the colour scheme is integrated between the frame and the sign. The shop interior is visible despite the stick on signs, so the frontage is kept alive.



1.8

Planted flowers brighten up the tarmac parking area, and canopy and signs and building have an integrated colour scheme, and are in harmony and proportion with the building.

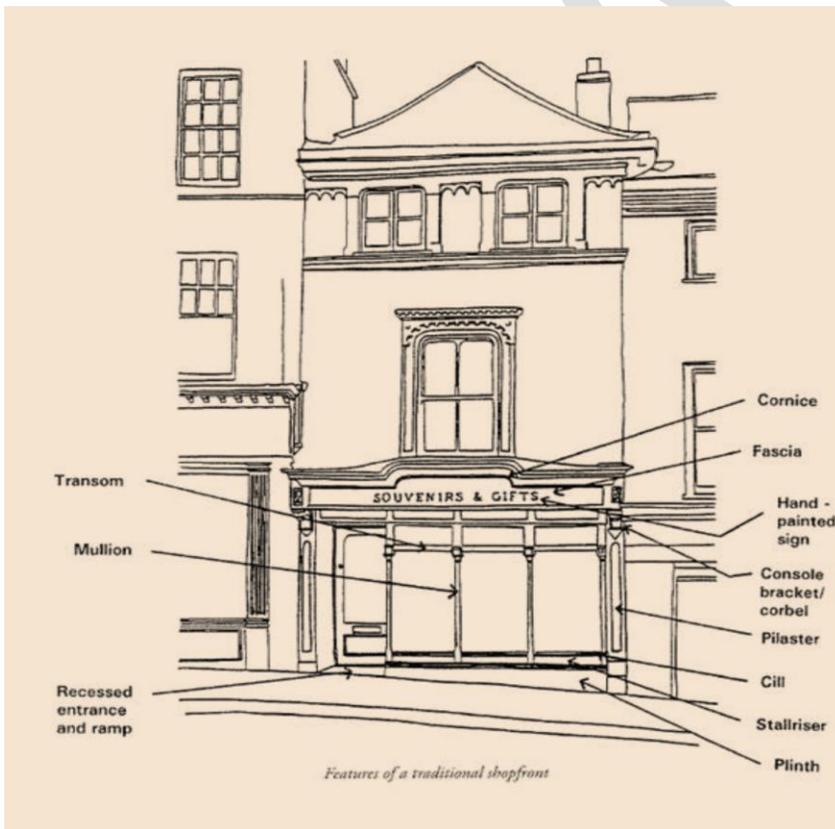


1.8

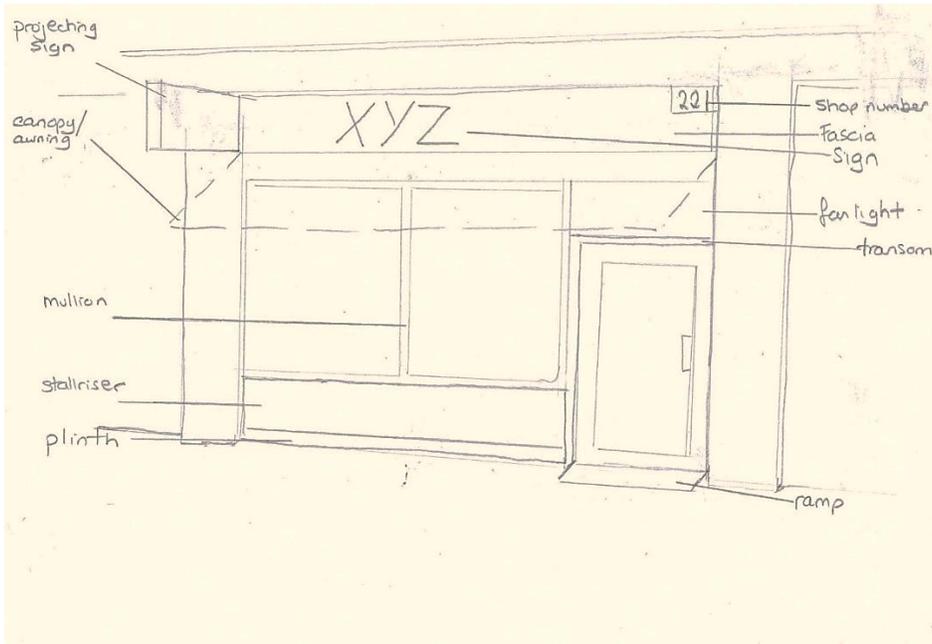
If security shutters are absolutely necessary then see through integrated designs like these are preferred rather than external box solid metal roller shutters which create a dead appearance and enhance the perception of crime.

Glossary

1. A Typical traditional shopfront



A Typical Modern Shopfront



ENDS

WINDSOR NEIGHBOURHOOD PLAN

APPENDIX 13

Townscapes of the Windsor Neighbourhood Plan area

**Extracted from the Royal Borough of Windsor and Maidenhead Townscape Assessment
Volume 2: Windsor Group – June 2010**

September 2016

This document brings together guidance relevant to the Windsor Neighbourhood Plan Area from various sections of the RBWM Townscape Assessment. It is designed to make it easier for Developers to access the guidance and provides some additional points to amplify, correct or clarify the guidance. The Townscape Areas Map (Appendix A of this document) should be used to identify the townscape type in which the proposed development site is located. Developers should see also the WNP General Design Guide (WNP Appendix 9) and any Neighbourhood Area Design Guide relevant to the proposed development site (WNP Appendix 10). A list of the Area Design Guides is at Appendix B of this document.

Townscapes of the Windsor Neighbourhood Plan Area

Townscape Type/ character area	General Guidance from The Townscape Assessment	Specific Area Guidance from the Townscape assessment	Additional Neighbourhood Plan guidance
1. Historic town core	All in the Windsor Business Neighbourhood Plan area		
2. Historic town fringes	All or nearly all in WBNP area		
<p>3. Historic village cores</p> <p>Clewer Village area 3B on map</p>	<p>a. Design to take account of the existing scale and grain of built form. Buildings should typically be 2 or 2.5 storeys with frontages drawn close to the street.</p> <p>b. Take account of the variety and rhythm of the streetscape. Buildings should reflect the staggered building line and varied roofscape including the use of steep and shallow pitches, varying storey heights and gable ends and frontages.</p> <p>c. The retention and enhancement of historic and distinctive shopfronts. Standardised corporate shopfronts and insensitive illumination should be avoided. Detailing should be consistent with the architectural style.</p> <p>d. Reflect the eclectic and varied built vernacular, especially the character of front elevation and roofscape.</p>	<p>Clewer village</p> <p>All the generic guidance above applies to, with particular emphasis on maintaining structural vegetation (including mature trees in private gardens and the churchyard) and planning for new tree planting to ensure continuity of tree cover and a diverse age structure.</p> <p>Since the area is located in a flood zone, there may be a need for flood mitigation measures. It will be important to ensure that any flood mitigation is constructed using materials that fit with the historic character of the area – sustainable urban drainage systems may present opportunities to include new planting of native species that could enhance links to the floodplain landscape setting. Native tree species suitable for this floodplain setting include Willow, Alder, Birch, Oak, Sycamore, Hawthorn, Ash, Beech, Rowan, Aspen and Elder</p>	<p>Clewer village</p> <p>Clewer Village core is a conservation area and the Village is part of the historic medieval route known as the Clewer Corridor running from St Leonards Hill to the Thames at Clewer Mill. All development here should also take account of the guidance in the <i>Clewer Corridor Neighbourhood Area Design Guide</i>.</p> <p>There is no Conservation Area Assessment published for Clewer Village</p>

	<p>e. Conserve and seek opportunities to reinstate original façade details and features such as windows (including mullioned casement windows and hung sash windows), porches (including Georgian moulded porches) and original doors consistent with the buildings architecture. Conserve original roof tiling (including local orange-red clay tiles and slate tiles) and seek opportunities to reinstate these features where lost.</p> <p>f. The retention of mature trees (including (including those in church yards and on village greens). Plan for new tree planting to ensure continuity of tree cover and a diverse age structure. Consider the planting of larger trees in key visual locations.</p> <p>g. Development should demonstrate that it preserves and enhances the setting of Listed Buildings and respect the form and function of local landmarks (e.g. views to and from these).</p> <p>h. Development and management measures should seek to reduce the impact of parking provision through sensitive design to ensure cars do not dominate the street.</p> <p>i. Regard should be given to the historic setting for street furniture, paving, markings and signage, conserving original features where possible.</p> <p>j. The management of village greens to reinstate components of historic character.</p>	<p>In addition, ensure that changes (e.g. to building massing and scale, roofscape and pitches, or relationship of buildings to space) do not detract from views to the Lych gate and lodge at the entrance to the Church of St Andrew.</p> <p>In addition, refer to any guidance written for Clewer Village Conservation Area.</p>	
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<p>4. Georgian suburbs</p> <p>Kings Road/ Adelaide Square, Clarence Crescent /Trinity Place</p> <p>areas 4 A and B on the map</p>	<p>a. New design should take account of the Georgian street layout and street proportions. Buildings should be in scale with the street in terms of width and height.</p> <p>b. Maintain the consistent building line. Development, including extensions, which steps out of line with or interrupt the rhythm of the street should be avoided.</p> <p>c. Reflect the use of pitched roofs with gable ends and chimneys, with roofs finished in slate. Conserve and seek opportunities to reinstate Georgian detailing, particularly sash windows with glazing bars, verandas, moulded porches and decorative front doors with fan lights above. Conserve the Georgian palette of materials including light coloured brick (to match the existing), stucco and slate roof tiles.</p> <p>d. Seek to conserve traditional low brick boundary walls, conserving traditional front garden boundaries with low walls and clipped small leaved hedged (such as privet) and/or iron railings. Aim to retain garden areas and boundaries, avoiding full width hardstanding. Development should demonstrate that it preserves and enhances the setting of Listed Buildings.</p> <p>e. Conserve semi-public garden areas. The use of small scale shrubs and trees in front gardens which are in scale with the street and do not obscure the architectural and façade character.</p>	<p>Kings Road/Adelaide Square.</p> <p>In addition, ensure the Castle remains as a focus in views from Kings Road and ensure that changes (e.g. to building massing and scale, roofscape and pitches, or relationship of buildings to space) do not detract from views to the Castle along Kings Road. The presence of Home Park Historic Park and Garden means special care should be taken when considering any changes to the townscape, ensuring that changes do not adversely affect the historic park. Also, any guidance written for the Inner Windsor Conservation Area should be taken into account.</p> <p>Clarence Crescent/Trinity Place</p> <p>In addition, the former Princess Christian Hospital on Clarence Road and Holy Trinity Church at Trinity Place should be conserved as landmarks and ensure that changes (e.g. to building massing and scale, roofscape and pitches, or relationship of buildings to space) do not detract from views to these buildings. In addition, refer to any guidance written for Trinity Place/Clarence Crescent Conservation Area.</p>	<p>There is Guidance for the Inner Windsor Conservation Area but this does not appear to be on the RBWM website yet.</p> <p>There is guidance for the TrinityPlace/Clarence Crescent Conservation Area but this is not yet available on the RBWM website.</p>
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	<p>f. The retention of important trees, including those in gardens and semi-public open spaces, planning for new tree planting to ensure continuity of tree cover and a diverse age structure. The planting of larger trees in key visual locations.</p> <p>g. Use of a coordinated approach to street furniture, paving and lighting.</p>		
<p>5. Victorian villages</p> <p>St Leonards Road "Spital" village</p> <p>Clewer Green & Clewer New Town</p> <p>Dedworth</p> <p>Areas 5 C, D and E on the map</p>	<p>a. Take account of the clear hierarchy of streets with principal through routes and residential side streets. Buildings should reflect the staggered building and variation in roof line on main streets. Buildings should typically be 3 storeys high on main streets / corners and 2 storeys on side streets.</p> <p>b. Design should take account of the primary views along the main routes and secondary views up side streets, and occasional views down narrow alleyways and between buildings.</p> <p>c. Take account of the Victorian street and block pattern of regular streets and narrow plots with domestic scale buildings. Development that does not respond to the scale, grain and urban form should be avoided.</p> <p>d. Retain active street frontages. Reflect the rhythm and variation of roofscape. Insensitive development that would disrupt this rhythm should be avoided.</p>	<p>Spital Village</p> <p>All of the guidance above applies to this area. In particular, ensure that changes (e.g. to building massing and scale, roofscape and pitches, or relationship of buildings to space) do not detract from the Stag and Hounds public house, as a local focal point in the village.</p> <p>Conserve the large proportion of open space within the village and seek opportunities to enhance the relationship of the village to its historic parkland setting – opening up visual and physical links to Windsor Great Park.</p> <p>Conserve distinctive trees within the village, including the trees at the entrance of former hospital site and the entrance to Combermere Barracks.</p> <p>Clewer Green</p>	<p>Spital Village</p> <p>The Stag and Hounds is no longer a public house.</p> <p>Clewer Green</p>

	<p>e. Conserve and seek opportunities to reinstate Victorian detailing, including steep gabled roofs, timber sash windows with stone sills, wall details (e.g. brickwork) unenclosed porches, balconies, fanlights above doorways and recessed porches with decorative brick arches.</p> <p>f. Conserve and make reference to the Victorian palette of materials including warm red brick, gault brick, natural stone and slate or red clay roof tiles.</p> <p>g. Development should conserve the use of traditional low brick boundary walls and low clipped hedged and/or cast railings. Aim to maintain a continuous frontage and to retain garden areas and boundaries, avoiding full width hard standing.</p> <p>h. Development should demonstrate that it preserves and enhances the setting of Listed Buildings and respect the form and function of local landmarks (e.g. churches, train stations and schools). Consideration should be given to the use of small scale shrubs and trees in front gardens which are in scale with the street and do not obscure the architecture.</p> <p>i. Manage school grounds, church yards and village greens to maintain structural vegetation, particularly mature trees, to provide a string visual link to the landscape setting.</p> <p>j. Retain important trees, including those in gardens and on tree lined roads, planning for new</p>	<p>In particular, conserve the wooded backdrop of the village and ‘leafy’ streetscape character of Hatch Lane, and ensure any additional planting within the area is drawn from the existing palette of species of oak, ash, yew, scots pine, birch, horse chestnut and Norway maple where possible. Plan for the future replacement of trees species in the gardens of the ‘Arts and Craft’ style houses along Hatch Lane.</p> <p>Dedworth</p> <p>In particular, the focus should be to restore and re-instate the Victorian street and block pattern of regular streets and narrow plots with domestic scale buildings with a continuous frontage to the street. In addition, seek opportunities for planting and ensure that large off-street parking areas (e.g. in front of superstores) do not dominate the streetscape.</p> <p>Maintain distinctive trees within the townscape, including the Atlas Cedar tree next to All Saints Church, and consider opportunities for planting of new trees as focal points and features within the village.</p>	<p>While the advice on keeping the leafy feel of Hatch Lane is accepted, Clewer Green is wrongly designated as a Victorian Village. It is part of the Clewer Corridor and was originally sparsely developed. Buildings were added over a long period. A small cluster of buildings at the top of Hatch Lane was added to in Victorian and later times but it was never a village. Developers should refer to the Clewer Corridor Neighbourhood Area Design Guide for advice.</p> <p>Dedworth</p> <p>Dedworth is the neighbourhood within the WNP area which has the clearest opportunities for development which would have significant positive effects on the town. The WNP aims to focus attention on Dedworth so that development there does not take place in isolation but considers an overall vision for the area.</p> <p>Developers should consult the Urban Design Scheme for Dedworth set out in pages 73 to 80 of the WNP (pre-submission draft page numbers) and in the AECOM Report “Dedworth Road” at Appendix 13 together with any RBWM updates to these and should consider how any new developments here can</p>
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	<p>trees to ensure continuity of tree cover and a diverse age structure.</p> <p>k. Use a coordinated approach to street furniture, paving and lighting.</p>		<p>contribute to the various improvement projects suggested for the area.</p>
<p>6. Victorian and Edwardian suburbs</p> <p>Arthur Road and Bexley Street Kings Road Springfield Road Maidenhead Road</p> <p>areas 6 H,I,J and K on the map</p>	<p>a. Ensure that design takes account of the Victorian 'grid' street pattern and hierarchy of streets with principal through routes and residential side streets. Buildings should reflect the domestic scale, plot width and height.</p> <p>b. Respect and respond to the uniform façade character and the level of articulation / variation provided by bay windows. Insensitive development, including extensions, which interrupt the building line and/or the rhythm of the street should be avoided.</p> <p>c. Reflect the use of pitched roofs and slate finish, and conserve the Victorian palette of materials including warm red brick, gault brick, natural stone and slate or red clay roof tiles. Insensitive roof alterations, including box type dormers to the front elevation, should be avoided.</p> <p>d. Conserve and seek opportunities to reinstate Victorian detailing, including steep gabled roofs, timber sash windows, original doors and tiled porches, rubbed brick arches to windows, stone / stucco mouldings and slate roofs.</p>	<p>No guidance on specific areas</p>	<p>Development should respect the building lines set by neighbouring properties and the street as a whole.</p> <p>Where developers decide to replicate features such as barge boarding, decorative finials tiles etc these should be in quality materials similar to the originals they are copying.</p> <p>Arthur Road and Bexley Street Area There is detailed guidance on development affecting Gardner Cottages in the <i>Gardner Cottages Neighbourhood Area Design Guide</i>.</p>

	<p>e. Development should conserve the traditional boundary treatments of low brick boundary walls and low clipped hedged and/or cast railings. Aim for the maintenance of a continuous frontage to the street, and to retain garden areas and boundaries, avoiding full width hardstanding.</p> <p>f. Development should demonstrate that it preserves and enhances the setting of Listed Buildings and respect the form and function of local landmarks. (e.g. churches, public houses, schools).</p> <p>g. Manage schools grounds and church yards to maintain structural vegetation, particularly mature trees.</p> <p>h. Retain important trees, including those in gardens and on tree lined roads, planning for new trees to ensure continuity of tree cover and a diverse age structure. Species commonly used by Victorians for street trees include lime, ornamental cherry and London plane.</p> <p>i. Consider the planting of larger trees in key visual locations.</p> <p>j. Use a coordinated approach to street furniture, paving and lighting.</p>		
<p>8. Inter war suburbs <i>(there is no 7)</i></p>			

<p>College Crescent, Clarence Road West, Clewer Avenue Clewer New Town, Maidenhead Road / Buckland Cres, St Andrew's Cres/ Kentons Lane, Clewer Green, Woodland Ave/ Sherbourne Drive</p> <p>areas 8 J to S on the map</p>	<p>a. Ensure that design takes account of the strong pattern of long, curved streets (crescents), linear streets (avenues / roads) and dead ends (closes).</p> <p>b. Respect the uniform building line and rhythm created by the consistent block pattern, massing and relationship of buildings to open space (e.g. semidetached).</p> <p>c. Reflect the use of part tile hung frontages, bay and bow windows, recessed arched porches and casement windows with stained glass.</p> <p>d. Extensions to properties should use materials that complement the original building. Seek to respect the built vernacular including building lines and proportions. Extensions which break the roofline or the building frontages should be avoided.</p> <p>e. Conserve the traditional use of low brick boundary walls and low clipped hedges. Aim for the maintenance of a continuous frontage to the street, and to retain garden areas and boundaries, avoiding full width hardstanding.</p> <p>f. Development should conserve grass verges and other open spaces, with development design allowing space for front gardens.</p> <p>g. Retain important trees, including those in gardens and other open spaces, planning for new trees to ensure continuity of tree cover and a diverse age structure.</p>	<p>St Andrew's Crescent and Kentons Lane and Clewer Green</p> <p>Ensure that if any development intensification occurs that it respects and supports the existing scale of built development (single storey bungalows), unless redevelopment is taking place on a large scale in which case there may be an opportunity to increase building heights to match adjacent areas.</p> <p>Maidenhead Road and Buckland Crescent –</p> <p>maintain views to the Castle from Maidenhead Road and ensure that changes (e.g. to building massing and scale, roofscape and pitches, or relationship of building to space) do not detract from these views.</p>	
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	<p>h. Use a coordinated approach to street tree planting, giving consideration to the planting of larger trees in key locations.</p> <p>i. Maintain the unmarked nature of roads.</p>		
<p>9. Post war suburbs to 1960</p> <p>Wood Close, Bulkeley Ave/ Springfield Road Maidenhead Road, Vale Road, Dedworth Drive, Perrycroft, Keepers Farm Close, Gratton Road</p> <p>Areas 9I to 9O on the map</p>	<p>a. Take account of the distinctive network of curvilinear streets (roads, avenues or drives) with dead ends (closes) and cul de sacs.</p> <p>b. Design development proposals to respect the pattern of frontages (facades and boundaries) and the regularity and rhythm of the roofscape. Buildings should reflect the use of steeply pitched, hipped or gabled roofs and chimneys.</p> <p>c. Conserve the traditional use of low brick boundary walls and low clipped hedges, in preference to forms of enclosure such as chain link fences, modular concrete walls or tall walls. The aim should be to maintain the impression of a garden area and boundaries, avoiding full width hardstanding.</p> <p>d. Conserve grass verges and other open spaces, with development design allowing space for front gardens.</p> <p>e. Retain important trees, including those in gardens and other open spaces, planning for new trees to ensure continuity of tree cover and a diverse age structure.</p>	<p>Dedworth Drive</p> <p>It will be particularly important to maintain the rendered elevations and half hipped gable details which characterise this area and to ensure any new development respects this.</p> <p>Bulkeley Avenue and Springfield Road</p> <p>It will be particularly important to conserve the mature oaks and plan for new tree planting to ensure continuity of tree cover.</p>	<p>Dedworth Drive</p> <p>For more detail developers should consult the <i>Dedworth Drive Neighbourhood Area Design Guide</i>.</p> <p>Gratton Drive (not Road)</p> <p>Maintain the open front gardens in this Road with no fences. Conserve grass verges.</p> <p>Maintain the mature tree (what species) in Gratton Drive by the cul-de-sac.</p>

	<p>f. Use a coordinated approach to street tree planting in terms of species palette, and in terms of stature (grade of plant material). Consider the planting of larger trees in key locations.</p> <p>g. Development and management decisions should seek to reduce the impact of parking provision and access through sensitive design and landscape screening. In areas with wide grass verges, the use of planted pavement build-outs can help reduce the visual impact of on-street parking.</p>		
<p>10.. Late 20th Century suburbs</p> <p>Chaucer Close and Edinburgh Gardens, Fountain Gardens, Wood Close, Nightingale walk, Princess Avenue, Imperial Road part, Clewer New Town, The Rectory, Clewer Park, Hatch Lane part, Tyrell Gardens, Ellison Close, Illingworth, Park Corner and Forster Avenue, Priors Road and Poolmans Road,</p>	<p>a. Within development design, take account of the street pattern of wide curving feeder roads with grass verges.</p> <p>b. Retain the open character of front gardens, which is an important part of townscape character, avoiding enclosing walls, fences, gates and railings.</p> <p>c. Sensitive contemporary design which responds to its immediate context will be appropriate, where it makes reference to existing building heights, massing and proportion, or stylistic references. Reference to existing materials may also be appropriate.</p> <p>d. Reflect the existing hipped or gabled roofscape character, using architectural styles and materials palette which complement the existing.</p>	<p>In Windsor, ensure that changes (e.g. to building massing and scale, roofscape and pitches, or relationship of buildings to space) do not detract from views to the castle along Kings Road. In addition, conserve and enhance the suburban park at the junction of Foster Avenue and Wolf Lane as a node and focal point within the townscape.</p> <p>Also refer to any guidance written for the Inner Windsor Conservation Area for Chaucer Close and Edinburgh Gardens.</p>	<p>Illingworth In Illingworth new development should maintain the two storied appearance of the houses from the front even if they are three stories at the rear. Dormer windows to the front elevation will not be permitted. For more detail, developers should consult the <i>Illingworth Neighbourhood Area Design Guide</i></p> <p>The Laing Estate New development should preserve the open appearance of the estate. For more detail, developers should consult the <i>Laing Estate Neighbourhood Area Design Guide</i></p>

<p>White Horse Road and Hemwood Road, Tinkers Lane, Gally's Road and Ruddlesway (The Laing Estate), Long Mead and Aston Mead, Broom Farm Estate</p> <p>(Areas 10Q to 10 AK on the map)</p>	<p>e. Respect the existing building line, including the retention of grass verges and front gardens. Ancillary buildings (e.g. garages) and off street parking should be tucked into the plot to maintain the green frontage.</p> <p>f. The retention of important trees, including those in gardens and on tree lined roads, planning for new trees to ensure continuity of tree cover and a diverse age structure.</p> <p>g. Use a coordinated approach to street tree planting in terms of species palette, and in terms of stature (grade of plant material). Consider the planting of larger trees in key locations.</p>		
<p>11. Post war residential flats Ward Royal Fountain Gardens Osborne Court Lammas Court Clarence Road / Goslar Way Junction Albert Street part Clewer Village Longbourn Estate Hanover Way Winwood Estate Manor Farm Close Areas 11G to 11Q on the map</p>	<p>a. Seek to create opportunities for landscape and boundary enhancement, encouraging soft boundary treatments including hedging.</p> <p>b. Provide access to open space, with careful consideration given to the ratio between built form and open space.</p> <p>c. Retain important trees, planning for new tree planting to ensure continuity of tree cover and a diverse age structure.</p> <p>d. Use a coordinated approach to street tree planting in terms of species and stature. Consider the planting of larger trees at key visual locations and where they would help soften the appearance of larger buildings.</p>	<p>Longbourn Estate</p> <p>Conserve the mature trees which once formed part of the former Clewer Estate and plan for their future replacement.</p>	

	<p>e. Sensitive contemporary design which responds to its immediate context will be appropriate, where it makes reference to existing building heights, massing and proportion, or stylistic references. Reference to existing materials may also be appropriate.</p> <p>f. Development and management decisions should seek to reduce the impact of parking provision and access through sensitive design and landscape screening. Parking areas should be provided behind and to the side of buildings to help reduce dominance from public areas.</p>		
<p>12. Executive estates</p> <p>Queens Acre Chestnut Drive Fairlawn Park Wilton Crescent</p> <p>Areas 12A to 12D on the map</p>	<p>a. Take account of the intact existing street and block pattern.</p> <p>b. Reflect existing building heights and massing. Buildings should typically be in the order of 2 or 2.5 storeys.</p> <p>c. Retain the open character of front gardens, in preference to enclosing walls, fences, gates and railings.</p> <p>d. Conserve and use trees and other vegetation as part of a leafy streetscape. The design should allow space for planting to mature.</p> <p>e. Use a coordinated approach to street tree planting in terms of species - ornamental and exotic species are characteristic, and appropriate,</p>	<p>One of the generic opportunities for the type is to seek opportunities to plant more native trees. The underlying geology of Windsor (Areas 12A-12D) is London Clay - suitable native tree species include Willow, Alder, Birch, Oak, Sycamore, Hawthorn, Ash, Beech, Field Maple, Hazel, Lime, Rowan, Aspen and Elder.</p>	<p>Chestnut Drive</p> <p>Pay particular attention to conserving grass verges.</p>

	<p>as is the consideration of larger trees at key locations.</p> <p>f. Retain important trees, planning for new tree planting to ensure continuity of tree cover and a diverse age structure.</p> <p>g. Sensitive contemporary design responding to its immediate context will be appropriate, where it makes reference to existing building heights, massing and proportion, or stylistic references. Reference to existing materials may be appropriate.</p> <p>h. Maintain the unmarked nature of roads.</p>		
<p>13. Leafy residential suburbs</p> <p>Osborne Road and Alma Road, Bolton Avenue and Bolton Crescent , Parsonage Lane Imperial Road, Winkfield Road, St Leonard’s Hill</p> <p>Areas 13J to 13N on the map</p>	<p>a. Take account of the intact existing street and block pattern.</p> <p>b. Reflect existing building heights and massing. Buildings should typically be in the order of 2 or 2.5 storeys.</p> <p>c. Retain the open character of front gardens, in preference to enclosing walls, fences, gates and railings.</p> <p>d. Conserve and use trees and other vegetation as part of a leafy streetscape. The design should allow space for planting to mature.</p> <p>e. Use a coordinated approach to street tree planting in terms of species - ornamental and exotic species are characteristic, and appropriate,</p>	<p>One of the generic opportunities for the type is to seek opportunities to plant more native trees. The underlying geology of Windsor (Areas 12A-12D) is London Clay - suitable native tree species include Willow, Alder, Birch, Oak, Sycamore, Hawthorn, Ash, Beech, Field Maple, Hazel, Lime, Rowan, Aspen and Elder.</p>	<p>Osborne Road and Alma Road</p> <p>Replacement development should aim to reflect the gracious tree lined street and surrounding Victorian and Edwardian buildings. For more detail developers should consult the <i>Alma Road Neighbourhood Area Design Guide</i>.</p> <p>Bolton Avenue and Bolton Crescent</p> <p>New development should seek to maintain or, where appropriate, replace Mock Tudor detailing such as mock timber framing with inset rendering. For more detail, developers should consult the <i>Bolton Avenue and Bolton Crescent Neighbourhood Area Design Guide</i></p>

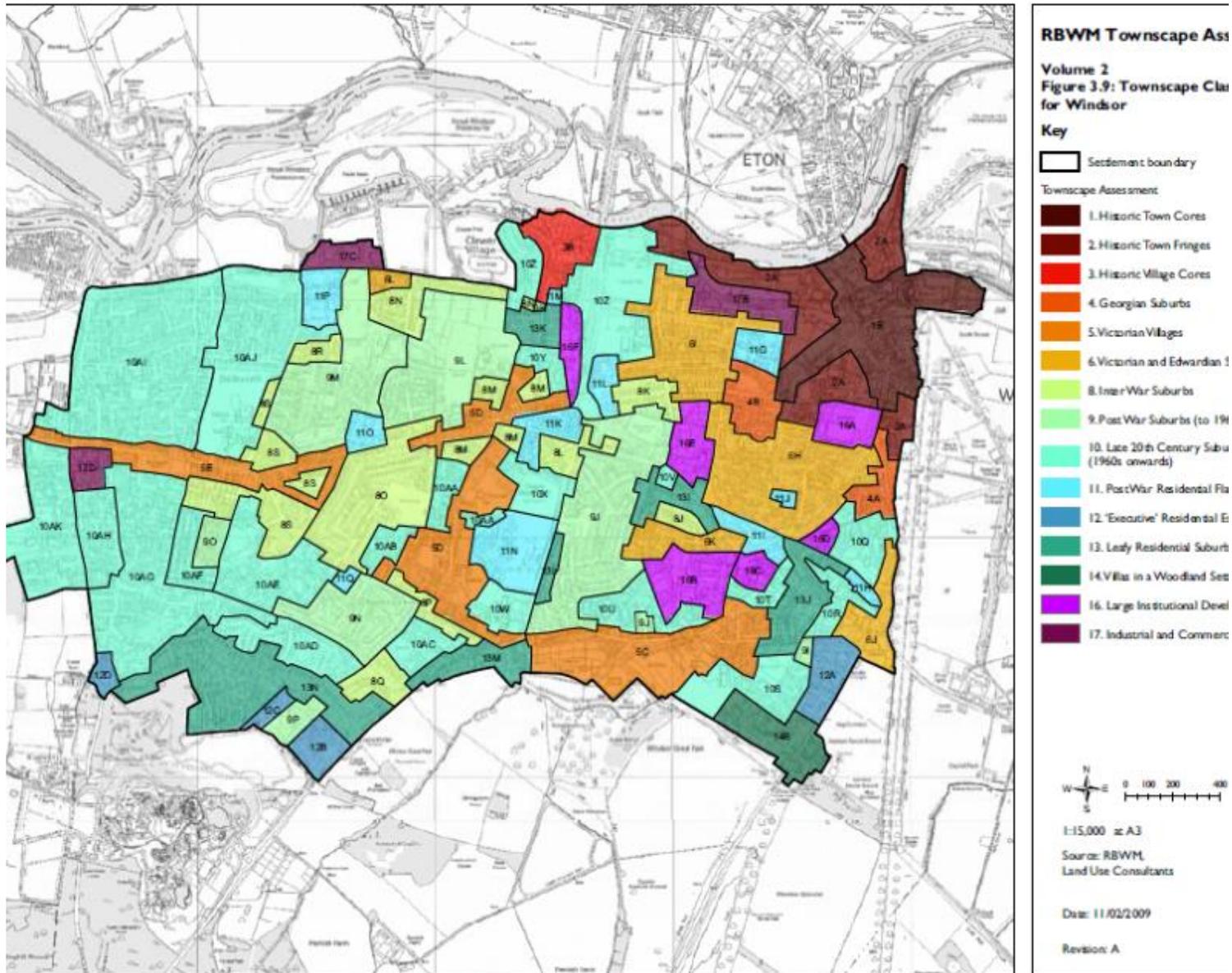
	<p>as is the consideration of larger trees at key locations.</p> <p>f. Retain important trees, planning for new tree planting to ensure continuity of tree cover and a diverse age structure.</p> <p>g. Sensitive contemporary design responding to its immediate context will be appropriate, where it makes reference to existing building heights, massing and proportion, or stylistic references. Reference to existing materials may be appropriate.</p> <p>h. Maintain the unmarked nature of roads.</p>		<p>Parsonage Lane New development should acknowledge the importance of keeping the rural “lane like” character of the road with informal hedging and grass verges. Developers should refer to the <i>Clewer Corridor Neighbourhood Area Design Guide</i> for information on how to achieve this.</p> <p>Imperial Road While some intensification of development has taken place and may continue, this is a particularly sensitive area in terms of traffic congestion, pollution by NO2 and biodiversity. New development should take care not to over develop the site, avoiding crowding the boundaries in any direction and leaving room for substantial gardens and landscaping with mature plants. For more detail developers should consult the <i>Imperial Road Neighbourhood Area Design Guide</i>.</p> <p>Winkfield Road Pay particular attention to conserving grass verges</p> <p>St Leonards Hill Pay particular attention to conserving grass verges.</p>
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<p>14. Villas in a woodland setting</p> <p>Queen Anne's Road and Kings Road</p> <p>(Area 14 B on the map)</p>	<p>a. Retain mature trees and woodland belts. The active management of woodlands and other treed areas is encouraged, including planning for future planting.</p> <p>b. Consider the planting of larger trees at key locations.</p> <p>c. Conserve the use of hedging, trees and other shrubs for boundaries, in preference to other forms of boundary treatment, such as walls, fences, gates and railings.</p> <p>d. Design development proposals to allow for significant planted areas, particularly those fronting roads, and allow space for planting to mature.</p> <p>e. Development should be designed to maintain the pre-eminence of mature trees and shrubs when viewed from public areas.</p> <p>f. Use of gravel surfacing for driveways in preference to tarmac and block paving.</p> <p>g. Retain remaining Victorian and Edwardian buildings. Renovations should be sensitive, retaining period details such as fenestration and doorways, and using a muted colour palette for paint finishes. Particular regard should be given to roof heights, pitches, materials and detailing.</p>	<p>Particular emphasis should be put on conserving the surviving historic properties (Queen Anne's Gate Lodge and Cottages) and the wooded character of the areas. In addition to this, the historic gateways formed by the collection of distinctive buildings (including Queen Anne's Gate Lodge and Crown Cottages) along Kings Road should be conserved as a key 'arrival' point into Windsor from Windsor Great Park.</p>	
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	<p>h. Sensitive contemporary design responding to its immediate context will be appropriate, where it makes reference to existing building heights, massing and proportion, or stylistic references. Reference to existing materials may also be appropriate.</p> <p>i. Signage should be discreet and low key in character.</p>		
<p>16. Large institutions</p> <p><i>There is no 15</i></p> <p>Combermere Barracks King Edward VII Hospital Princess Margaret Hosp. Alma Road Police Station St John Ambulance, Maidenhead Road</p> <p>(Areas 16 A to F on the map)</p>	<p>It is recommended that the following principles are taken into account in the development design process and in public realm improvement projects:</p> <p>a. Retain remaining 19th Century buildings.</p> <p>b. Ancillary buildings and development in the surrounding area should seek the integration of historic buildings and use a complementary palette of materials.</p> <p>c. Retain important trees, vegetation and open spaces, planning for new tree planting to ensure continuity of tree cover and a diverse age structure.</p> <p>d. Give consideration to the planting of larger trees at key visual locations and where they would help soften the appearance of larger buildings and areas</p> <p>e. Development and management measures should seek to enhance the hard landscape,</p>	<p>King Edward VII Hospital - particular reference to conserving the setting of older buildings and enhancing the quality of open spaces and the public realm.</p> <p>Princess Margaret Hospital – particular reference to conserving the leafy character of Osborne Road. Maintain trees as part of the streetscape, using smaller species where space is tight or where larger trees may damage buildings. Refer to the Inner Windsor Conservation Area Appraisal for further guidance.</p> <p>Alma Road Police Station particular reference to conserving the leafy character of Alma Road. Maintain trees as part of the streetscape, using smaller species where space is tight or where larger trees may damage buildings</p> <p>St John Ambulance</p>	<p>Alma Road Police Station</p> <p>For advice see Alma Road under 12 above and the Alma Road Neighbourhood Area Design Guide.</p>

	<p>introducing a simple, co coordinated and unified palette of materials and street furniture.</p> <p>f. Use design to create visual interest including the use of subtle variation in heights and roof pitches, in addition to the use of detailing to articulate building facades. The apparent scale of large buildings may be reduced through the use of a light, muted palette of earth and sky colours.</p> <p>g. Use master plans to ensure coordinated long-term development and management.</p>	<p>particular reference to conserving the street trees along Maidenhead Road. In addition to this, sustainable urban drainage systems (to assist in flood management) may present opportunities to include new planting of native species that could enhance links to the floodplain landscape setting.</p>	
<p>17. Industrial and commercial estates</p> <p>Maidenhead Road, Dedworth Road (Fairacres)</p> <p>Areas 17C and 17D on the map</p>	<p>a. Design should aim to enhance landscape and boundaries. Soft boundary treatments including hedges are encouraged. In such instances security fencing should be screened by planting.</p> <p>b. Retain important trees, vegetation and open spaces, planning for new tree planting to ensure continuity of tree cover and a diverse age structure.</p> <p>c. Consider the planting of larger trees at key visual locations and where they would help soften the appearance of larger buildings and areas of hardstanding.</p> <p>d. Development and management decisions should seek to reduce the impact of parking provision and access through sensitive design. Parking areas should be provided behind and to the side of buildings to help reduce its dominance</p>		<p>Vale Road Industrial Estate The Townscape Assessment seems to have missed Vale Road Industrial estate altogether. This estate is likely to be lost to residential development as it is in the Draft Local Plan as zoned residential.</p> <p>Fairacres Industrial Estate Some intensification of development would be acceptable here with three storey buildings, particularly in the inner parts of the estate.</p>

	<p>from public areas, particularly from outside the estate (e.g. from adjacent residential areas). Consideration should also be given to landscape planting to frame or 'foil' parking areas.</p> <p>e. The establishment of new and improved pedestrian and cyclist routes.</p> <p>f. Use design to create visual interest including the use of subtle variation in heights and roof pitches. The apparent scale of large buildings may be reduced through the use of a light, muted palette of earth and sky colours in materials.</p>		
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List of Neighbourhood Area Design Guides

- I. Alma Road South – from Clarence Road to Goslar WayII.
- II. Bolton Avenue and Crescent
- III. Clewer Corridor – Mill Lane, Parsonage Lane and Hatch Lane
- IV. Dedworth Drive
- V. Gardner Cottages
- VI. Illingworth
- VII. Imperial Road
- VIII. Laing Estate

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